

BUILDING DEPARTMENT NOTES

RAMAPO COLLEGE OF NJ "H-SCIENCE HOUSE" RESIDENCE INTERIOR RENOVATION

1. PROJECT LOCATION: MAHWAH, NEW JERSEY

2. PROJECT SCOPE/SUMMARY

THE PURPOSE OF THIS PROJECT IS THE RENOVATION OF EXISTING BATHROOMS, KITCHENS, BEDROOMS & LIVING ROOMS.

IN GENERAL, THE CONSTRUCTION WILL INCLUDE PLUMBING FIXTURE REPLACEMENT, GYP. BD. FOR PARTITIONS, DOORS, HARDWARE, ACCESSORIES, FINISHES, ETC., PLUS MODIFICATIONS TO THE ELECTRICAL AND PLUMBING SYSTEMS. THE EXPOSED SPRINKLER PIPE WILL BE ENCLOSED IN SOFFITS AND THE SPRINKLER HEADS WILL BE CONCEALED. ELECTRICAL AND PLUMBING DRAWINGS FOR THIS PROJECT HAVE BEEN PREPARED BY LEA ENGINEERS, INC. CONSULTANTS TO SNS ARCHITECTS & ENGINEERS, PC.

THERE WILL BE NO DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION. THERE IS NO STRUCTURAL WORK INVOLVED WITH THIS PROJECT.

3. BUILDING DESCRIPTION

THE EXISTING BUILDING CONSISTS OF A TWO-STORY DORMITORY BUILDING WITH A CRAWL SPACE. THE BUILDING HAS A LIMITED SPRINKLER SYSTEM.

4. APPLICABLE REGULATIONS

A. N.J.C.O. ACT AND REGULATIONS

1. CURRENT THROUGH ALL UP TO DATE REVISIONS.
2. ADOPTING REHABILITATION SUBCODE, N.J.A.C. 5:23-6.

B. N.J.A.C. 5:23-6 REHABILITATION SUBCODE

1. N.J.A.C. 5:23-6.1 (A) 1: THE PROVISIONS OF OTHER SUBCODES OF THE UNIFORM CONSTRUCTION CODE DO NOT APPLY TO WORK IN EXISTING BUILDINGS UNLESS THE PROVISIONS OF THE REHABILITATION SUBCODE SPECIFICALLY REFERENCE THEM AND MAKE THEM APPLICABLE.
2. THE REHABILITATION SUBCODE REFERENCES PARTS OF THE FOLLOWING MODEL CODES:

- A. 2009 INTERNATIONAL BUILDING CODE / NJ EDITION.
- B. 2009 NATIONAL STANDARD PLUMBING CODE.
- C. 2009 INTERNATIONAL MECHANICAL CODE.
- D. 2009 INTERNATIONAL FUEL GAS CODE.
- E. 2011 NATIONAL ELECTRIC CODE.
- F. 2007 ASHRAE ENERGY STANDARD 90.1.
- G. NJ BARRIER FREE SUBCODE, N.J.A.C. 5:23-7, AND 2003 ICC / ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

C. CONSTRUCTION DESIGNED BY LINWOOD ENGINEERING ASSOCIATES, P.A.

1. MECHANICAL
2. ELECTRICAL
3. FIRE PROTECTION
4. PLUMBING

5. BUILDING OCCUPANCY

- EXISTING: USE GROUP: "R-2" DORMITORY
- PROPOSED: SAME (NO CHANGE)

6. CONSTRUCTION CLASSIFICATION

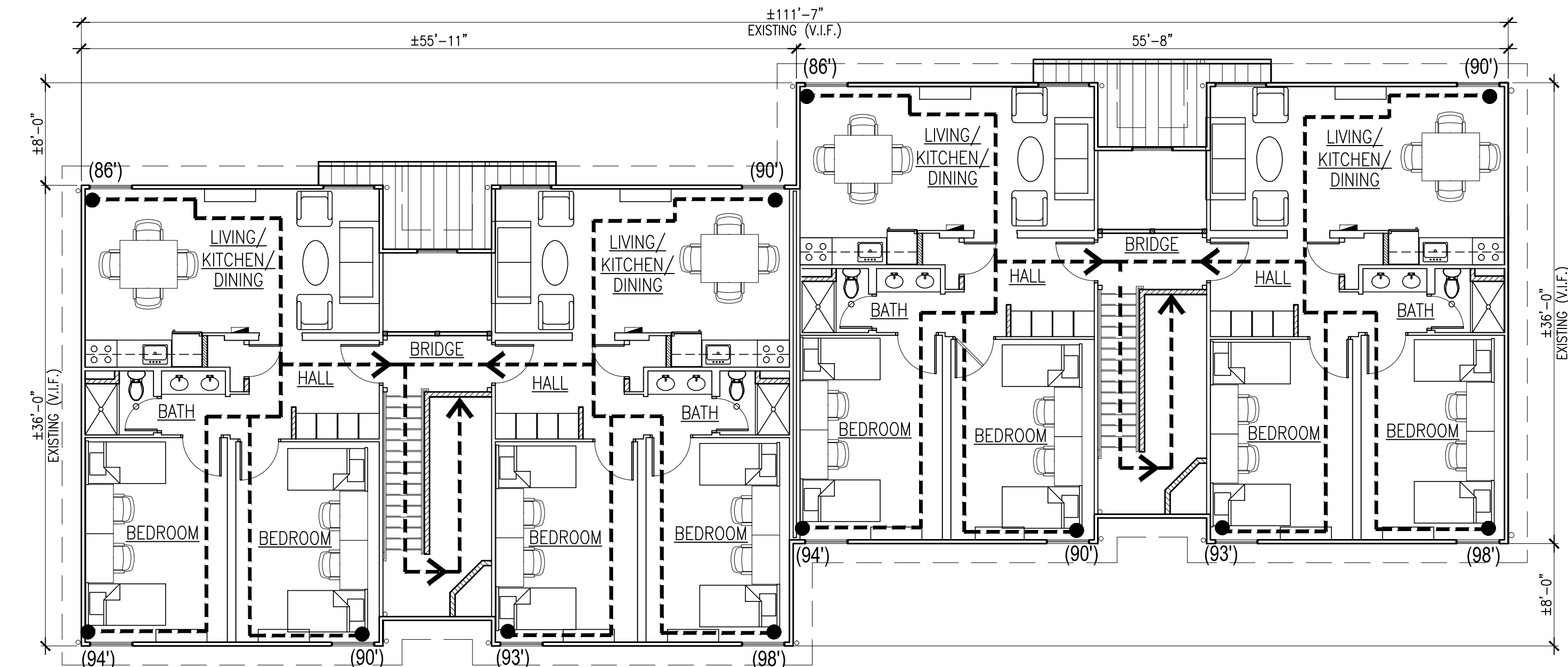
- EXISTING: TYPE V-B
- PROPOSED: SAME (NO CHANGE)

7. EXISTING BUILDING AREA: NO CHANGE

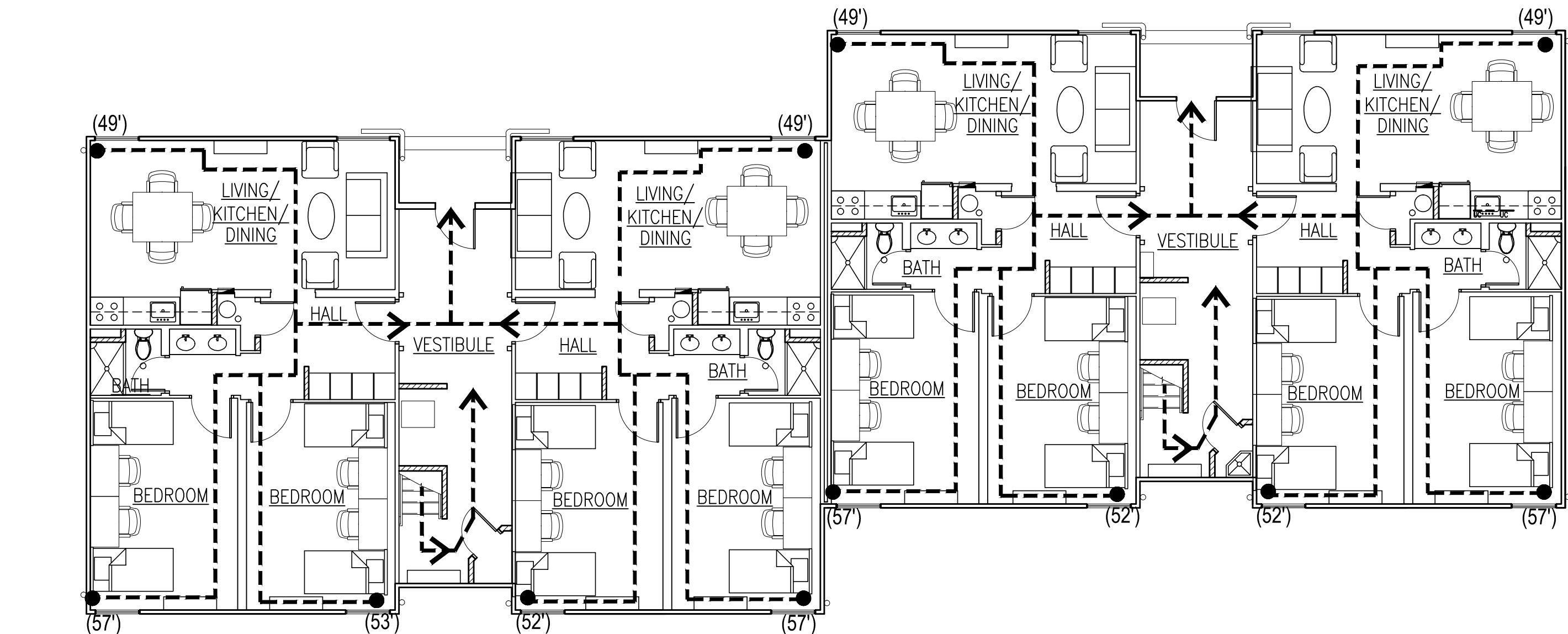
8. EXISTING BUILDING HEIGHT: 2 STORIES (NO CHANGE)

9. FIRE RESISTANCE RATING REQUIREMENTS

STRUCTURAL ELEMENTS	RATING REQ'D CONST. CLASS	TYPE V-B	RATING PROVIDED	CODE REFERENCE
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	0 HR		0 HR	TABLE 601
BEARING WALLS				
EXTERIOR	0 HR		0 HR	TABLE 601
INTERIOR	0 HR		0 HR	TABLE 601
NON-BEARING WALLS AND PARTITIONS				
EXTERIOR	0 HR		0 HR	TABLE 601 & 602
INTERIOR	0 HR		0 HR	TABLE 601
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HR			
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HR		0 HR	
10. MEANS OF EGRESS: NO CHANGE.				
11. INTERIOR FINISHES: INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8 OF IBC NJ 2009 AND REHABILITATION SUBCODE 5:23-6.11 (C).				



2 SECOND FLOOR EGRESS PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR EGRESS PLAN
SCALE: 1/8" = 1'-0"

EGRESS PLAN NOTES & LEGEND

1. MAXIMUM ALLOWABLE EXIT ACCESS TRAVEL DISTANCE, "R-2" OCCUPANCY, IN A SPRINKLERED BUILDING = 250'
2. USE: DORMITORY, R-2

(94'-0") DISTANCE TRAVELED IN FEET INDICATES PATH AND DIRECTION OF EGRESS AND ACTUAL TRAVEL DISTANCE (250' MAX)

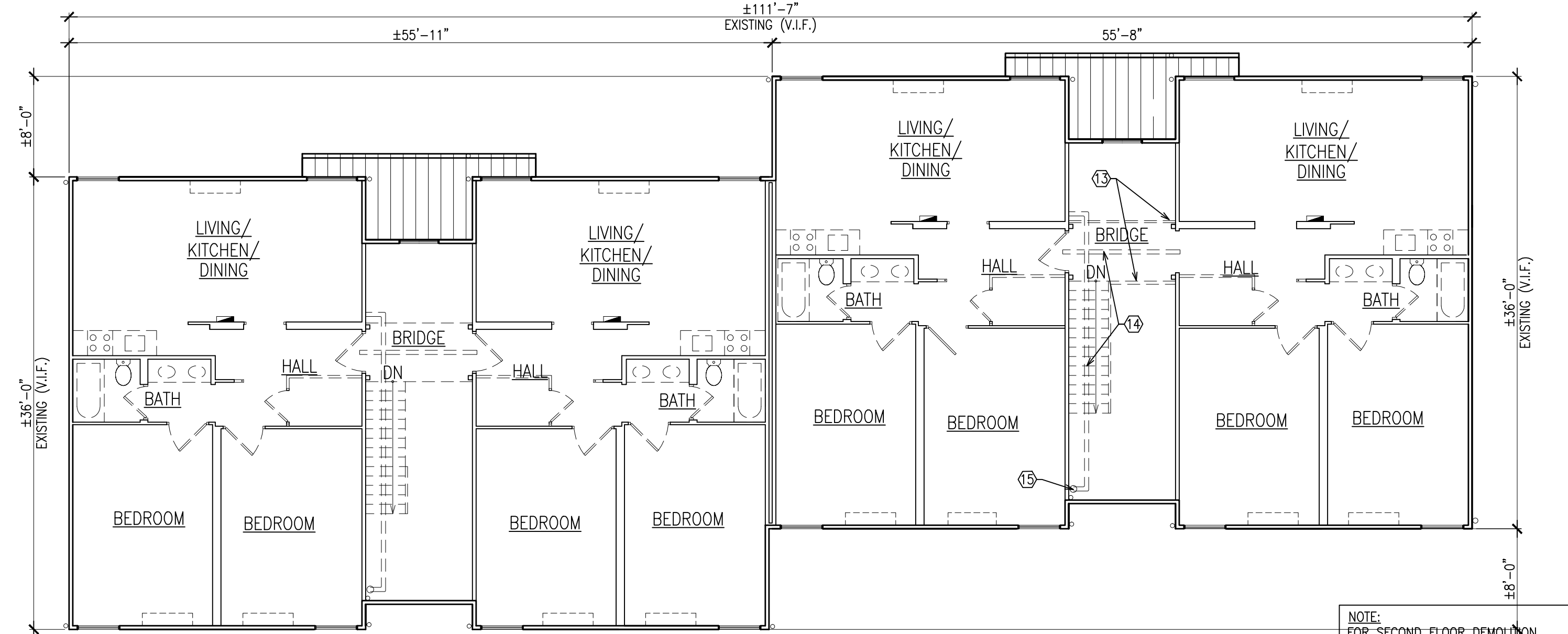
NOTE: FURNITURE IS FOR REFERENCE ONLY & IS NOT IN SCOPE OF WORK

DEMOLITION NOTES

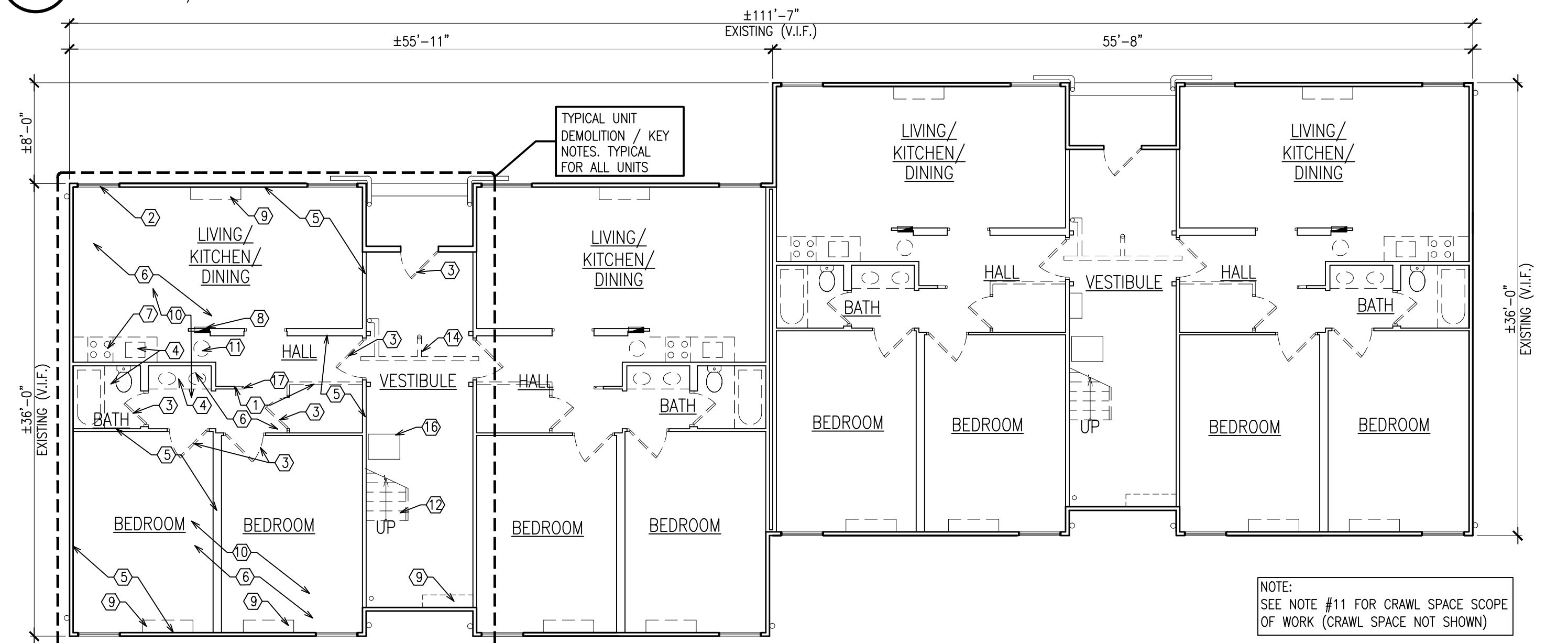
1. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
2. TEMPORARY PROTECTION: PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUSTPROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS. TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.
3. CONTRACTORS TO VERIFY EXISTING WALLS, FLOORS, & CEILINGS, ETC. HAVE BEEN REMOVED OF ALL MATERIALS DOWN TO EXISTING STUDS / JOISTS / SUBFLOOR AND ALL OUTLETS, VENTS, THERMOSTATS, ETC. ARE IN THE CORRECT LOCATION PRIOR TO THE INSTALLATION OF ALL NEW FINISH MATERIAL. CONTRACTORS SHALL VERIFY THE LIMITS OF DEMOLITION TO ENABLE WORKMEN TO IDENTIFY ANY ITEMS LEFT IN PLACE THAT NEED TO BE REMOVED & WHAT ITEMS TO BE LEFT IN PLACE INTACT.
4. SUBCONTRACTORS SHALL INSPECT ALL DEMOLITION AREAS PRIOR TO BEGINNING WORK.
5. PREPARE ALL SURFACES AS REQUIRED (PER MANUFACTURER'S SPECIFICATIONS) TO RECEIVE NEW FINISHES.
6. REMOVE ALL EMBEDDED ITEMS SUCH AS TOGGLE BOLTS, EXPANSION BOLTS, SCREWS, NAILS, PLASTIC & METAL INSERTS AND ANY OTHER ITEMS LEFT IN PLACE & PREVENTING THE APPLICATION OF NEW FINISHES IN AN ACCEPTABLE MANNER.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING PERMITS, CERTIFICATES, ETC. FROM THE UTILITY COMPANY FOR ALL TEMPORARY SHUT-OFFS. UTILITY SERVICE SHALL BE RESTORED TO THE BUILDING AS SOON AS SAFELY POSSIBLE.
8. ALL PENETRATIONS (PLUMBING, ELECTRICAL) THROUGH WALLS, & FLOORS DUE TO BUT NOT LIMITED TO DEMOLITION TO BE SEALED, COPPED, AND LEVELLED SMOOTH WITH ADJACENT MATERIALS.
9. G.C. SHALL PROTECT ALL AREAS OF THE EXISTING STRUCTURE, FROM WEATHER & OTHER RELATED HAZARDS.
10. G.C. SHALL PREPARE ALL EXISTING FLOOR SURFACES AS REQUIRED TO RECEIVE NEW FLOOR FINISHES AS PER MANUFACTURER'S RECOMMENDATIONS.
11. CRAWL SPACE SCOPE OF WORK:
NOTE: THAT PLAN OF CRAWL SPACE BELOW FIRST FLOOR IS NOT SHOWN.
1. G.C. TO REMOVE CORRODED OR DAMAGED OR INADEQUATE HANGERS AND SUPPORTS FOR UTILITIES AT CRAWL SPACE BELOW FIRST FLOOR. REPLACE WITH ADEQUATE HARDWARE AS REQ'D, V.I.F.
2. G.C. TO REMOVE ALL OBSOLETE CABLE & WIRING AT CRAWL SPACE BELOW FIRST FLOOR OF ELECTRICAL AND LOW VOLTAGE SYSTEMS THAT ARE IDENTIFIED BY RAMAPO COLLEGE FACILITIES DEPT. G.C. IS RESPONSIBLE NOT TO REMOVE ANY ACTIVE SYSTEMS & WILL BE RESPONSIBLE TO REINSTALL IF REMOVED. COORDINATE WITH ENGINEER'S DRAWINGS.
3. BROOM SWEEP CRAWL SPACE AT END OF PROJECT. G.C. SHALL REMOVE DEBRIS & REMOVED ITEMS FROM CRAWL SPACE
12. ALL MISC. PLYWOOD STRIPS THAT ARE SCREWED TO STUDS SHALL BE REMOVED TO PROVIDE FOR A SMOOTH GYP. BD. INSTALLATION / FINISH. CONTRACTOR SHALL PROVIDE BLOCKING / BRACING WITHIN FRAMING AS REQ'D. TO REPLACE PLYWOOD. EXACT LOCATIONS SHALL BE VERIFIED IN FIELD.

DEMOLITION SCOPE OF WORK NOTES:

1. GENERAL CONTRACTOR, DEMOLITION SUB-CONTRACTOR & ALL SUB-TRADE CONTRACTORS SHALL REVIEW GENERAL NOTES, DEMOLITION NOTES, DEMOLITION SCOPE NOTES & DEMOLITION KEY NOTES ALONG WITH VISUALLY INSPECTING THE BUILDING PRIOR TO START OF ANY DEMOLITION WORK.
2. CONTRACTOR SHALL COORDINATE M.E.P.S. DEMOLITION SCOPE W/ CONSULTING ENGINEERS DRAWINGS PRIOR TO START OF DEMOLITION WORK.
3. DOOR HARDWARE DEMOLITION COORDINATION:
--ALL EXISTING BEDROOM DOOR HARDWARE SHALL BE REMOVED, BAGGED & TAGGED FOR RE-INSTALLATION.
--COORDINATE W/ DOOR SCHEDULE NOTES FOR ADDITIONAL RE-INSTALLATION / LOCATION NOTES.
4. DEMOLITION SHALL INCLUDE THE REMOVAL & STORAGE OF ALL EXISTING FURNITURE IN THE BUILDING / UNITS. THE FURNITURE SHALL BE STORED SAFELY IN WATERPROOF, LOCKED STORAGE CONTAINERS, WHICH SHALL BE PROVIDED BY G.C.
5. EXISTING FIRE ALARM SYSTEMS, INCLUDING ALL WIRING, PANELS & DEVICES ARE TO BE REMOVED, COORDINATE W/ CONSULTING ENGINEER DRAWINGS.
6. EXISTING ELECTRICAL & TELECOMMUNICATION BOXES & WIRING TO BE REMOVED BACK TO PANELS, COORDINATE W/ CONSULTING ENGINEERS DRAWINGS.
7. DEMOLITION SHALL INCLUDE REMOVAL OF:
A. ALL DOORS, FRAMES & HARDWARE. COORDINATE HARDWARE REMOVAL WITH NOTE #3.
B. KITCHEN CABINETS, COUNTERS & APPLIANCES.
C. BATHROOM: MILLWORK, COUNTERS, TOILETS, SHOWERS & TUBS IN THEIR ENTIRETY, FIXTURES, SINKS & ACCESSORIES.
D. ELECTRICAL DEVICES & LIGHTING FIXTURES, COORDINATE W/ ELECTRICAL DRAWINGS
E. ALL PLUMBING FIXTURES (KITCHEN & BATH), COORDINATE W/ PLUMBING DRAWINGS
F. ALL TRIM WORK: WINDOW & DOOR CASINGS & BASE MOLDINGS.
G. WALL TILE IF APPLICABLE IN BATHROOMS
H. ALL GYPSUM BOARD @ WALLS & CEILINGS
I. ALL WALL & CEILING INSULATION
J. MATERIAL BETWEEN MODULAR UNIT -- FLOOR & CEILING, BETWEEN 1ST FLOOR & 2ND FLOOR GYPSUM BOARD CEILING & 3RD FLOOR ROOF JOISTS (V.I.F.)
K. ALL FLOOR FINISHES: VCT VAT, LINOLEUM, CARPET, 1/4" PLYWOOD, CERAMIC TILE, CEMENT BOARD, ETC., DOWN TO ORIGINAL 3/4" PLYWOOD SUB-FLOOR. NOTE: SEE SPECIFICATION SUMMARY OF WORK FOR ADDITIONAL FLOOR FINISH DEMOLITION / PREPARATION NOTES.
8. CONTRACTOR IS REQUIRED TO DRAIN & BLOW OUT EXISTING SPRINKLER SYSTEM PRIOR TO START OF WORK. COORDINATE W/ CONSULTING ENGINEERS' FIRE PROTECTION DRAWINGS.
9. REMOVE ALL ELECTRICAL, PHONE & DATA OUTLETS THROUGHOUT THE ENTIRE BUILDING @ ALL FLOORS.
10. ALL MISC. PLYWOOD STRIPS THAT ARE SCREWED TO STUDS SHALL BE REMOVED TO PROVIDE FOR A SMOOTH GYP. BD. INSTALLATION / FINISH. CONTRACTOR SHALL PROVIDE BLOCKING / BRACING WITHIN FRAMING AS REQ'D. TO REPLACE PLYWOOD.



4 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



3 FIRST FLOOR DEMOLITION PLAN
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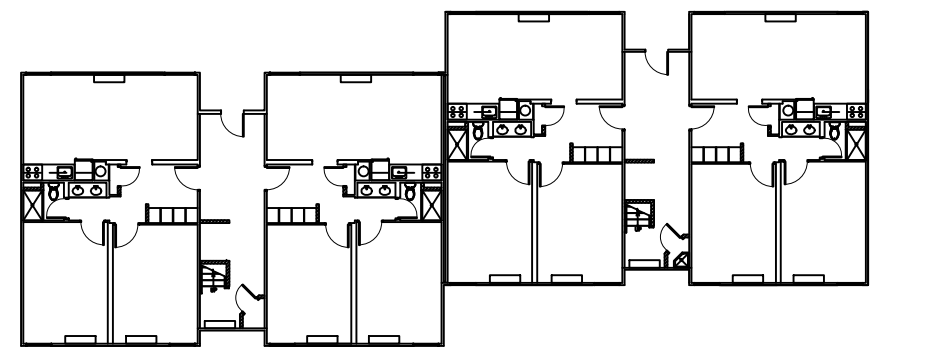
DEMOLITION KEY NOTES

- ① REMOVE EXISTING WOOD FRAME PARTITION FROM FLOOR TO CEILING AS INDICATED
- ② EXISTING WINDOWS TO REMAIN
- ③ EXISTING DOOR & FRAME TO BE REMOVED, REFER TO NOTE #3 UNDER DEMOLITION SCOPE FOR ADDITIONAL INFORMATION
- ④ ALL EXISTING PLUMBING FIXTURES TO BE REMOVED, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- ⑤ REMOVE EXISTING WALL FINISH & GYP. BD. DOWN TO EXISTING WALL STUDS. ALL ELECTRICAL & DATA WIRING & OUTLETS ARE TO BE INCLUDED IN THE REMOVAL ALONG WITH ALL EXISTING INSULATION LOCATED INSIDE THE WALL
- ⑥ REMOVE EXISTING GYP. BD. CEILING DOWN TO EXISTING CEILING / FLOOR JOISTS. ALL ELECTRICAL & DATA WIRING, LIGHT FIXTURES & ACCESS PANELS ARE TO BE INCLUDED ALONG WITH ALL EXISTING INSULATION LOCATED IN BETWEEN JOISTS
- ⑦ ALL EXISTING CABINETS, OUTLETS, COUNTER TOP, APPLIANCES & SINK TO BE REMOVED, REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION ON REMOVAL OF SINK & OUTLETS.
- ⑧ EXISTING ELECTRIC PANEL TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- ⑨ EXISTING FAN COIL UNIT TO BE REMOVED, COORDINATE W/ MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION
- ⑩ EXISTING FLOOR FINISH TO BE REMOVED DOWN TO EXISTING SUB-FLOOR, SEE NOTE 7K UNDER DEMOLITION SCOPE
- ⑪ EXISTING WATER HEATER TO BE REMOVED, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- ⑫ REMOVE EXISTING STAIRCASE FROM FIRST TO SECOND FLOOR
- ⑬ REMOVE EXISTING RAILING AT BRIDGE, CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS REQ'D. DURING CONSTRUCTION
- ⑭ REMOVE EXISTING FIRE SPRINKLER PIPING AT VESTIBULE. SEE ENGINEERS FIRE PROTECTION PLAN FOR SCOPE OF DEMOLITION & NEW WORK
- ⑮ EXISTING SPRINKLER MAIN TO REMAIN, COORDINATE EXTENT OF WORK W/ ENGINEERING DRAWINGS
- ⑯ EXISTING ACCESS HATCH TO CRAWL SPACE TO REMAIN
- ⑰ RELOCATE EXISTING PLUMBING PIPE

NOTE: DEMOLITION KEY NOTES ARE TYPICAL FOR ALL DORMITORIES THROUGHOUT THE ENTIRE BUILDING

Date	Issue	Description
06-03-15	1	ISSUED FOR CONSTRUCTION

Key Plan TYPICAL 1ST & 2ND



Consultants



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Project

INTERIOR RENOVATIONS
AT THE
SCIENCE HOUSE - H RESIDENCE

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OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT#

Client

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Date 01-09-15 Scale AS NOTED
Drawn By DP Checked By DP
Dwg. Title

**BUILDING DEPARTMENT NOTES,
EGRESS & DEMOLITION PLANS**

Work Order No. Dwg. No.

4698H A001