

ROOF PLAN

ROOF LEGEND

- RD-N NEW ROOF DRAIN WITH 4" x 4" ROOF SUMP
UNLESS OTHERWISE NOTED- SEE DETAIL
- EXPANSION JOINT
- CRICKET TO PROMOTE POSITIVE
DRAINAGE TOWARDS ROOF DRAIN

GENERAL ROOF NOTES

- A. ALL DIMENSIONS INDICATED SHALL BE CONSIDERED TO BE PLUS OR MINUS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- B. CONTRACTOR SHALL ENSURE THAT EVERY CURB OR ROOF PENETRATION, CONFORM TO THE REQUIRED 8" MINIMUM HEIGHT FROM TOP OF ROOF SURFACE.
- C. CONTRACTOR WILL DO A GOOD CLEANING OF ALL CONSTRUCTION AREAS ON A DAILY BASIS.
- D. THE LOCATION AND SIZE OF ROOFTOP UNITS SHOWN ON THIS SHEET IS APPROXIMATE ONLY. FIELD VERIFY FOR EXACT SIZES AND LOCATIONS.
- E. CONTRACTOR SHALL PREVENT ANY MATERIAL FROM ENTERING THE BUILDING THROUGH OPENINGS IN THE EXISTING ROOF DECK.
- F. ALL MECHANICAL UNITS AND CURBS ARE TO BE CRICKETED WITH TAPERED EDGE STRIPS FOR POSITIVE DRAINAGE.
- G. MINIMUM 2" THICKNESS OF INSULATION AT THE ROOF DRAINS THROUGHOUT UNLESS OTHERWISE NOTED.
- H. CONTRACTOR TO PROTECT ALL ITEMS INDICATED TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- I. CONTRACTOR HAS USE OF BUILDING'S POWER FOR POWER TOOLS.
- J. CONTRACTOR SHALL BLOCK ROOF DRAINS DURING REMOVALS TO PREVENT DEBRIS FROM GETTING INTO THE LINES. DRAINS SHALL BE KEPT OPEN AND RUNNING WHEN NO WORK IS BEING PERFORMED.
- K. CONTRACTOR SHALL EXERCISE EXTREME CARE DURING REMOVALS AROUND EXISTING MECHANICAL UNITS SO AS TO NOT DAMAGE EXISTING ELECTRICAL CONNECTIONS AND SUPPLY/RETURN PIPING LINES.
- L. CONTRACTOR TO VERIFY THAT ALL EXISTING ROOF DRAINS ARE CLEAN AND FUNCTIONING. REPORT TO OWNER ANY NON-FUNCTIONING ROOF DRAINS.
- M. ALL DAMAGED WALKWAYS, LAWN, AND LANDSCAPED AREAS DAMAGED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE AND RETURN TO ORIGINAL CONDITIONS BEFORE CONSTRUCTION.

ROOF LEVEL NOTES

NEW ROOF LEVEL A, B, C, & D

ROOF CONTRACTOR TO PROVIDE THE FOLLOWING SYSTEM FROM ROOF DECK UP:

- 1/2" EXTERIOR GRADE SHEATHING MECHANICALLY ATTACHED TO METAL DECK
- VAPOR BARRIER
- FLAT & TAPERED ISOCYANURATE ROOF INSULATION, 1ST BASE LAYER OF 3" (4# BOARDS) MECHANICALLY ATTACHED AND 2ND LAYER OF 2" STAGGERED JOINTS (4#4 MAX. BOARDS) FULLY ADHERED
- TREATED PRESSURE-TREATED WOOD BLOCKING WHERE REQUIRED BY MANUFACTURER
- 18" WIDE TAPERED EDGE STRIPS IN HOT ASPHALT TO EQUAL THICKNESS OF TREATED BLOCKING TO PROVIDE SMOOTH TRANSITION WHERE INSULATION DOES NOT EQUAL BLOCKING THICKNESS
- HD COVER BOARD (FULLY ADHERED) AS FINAL LAYER FULLY ADHERED WHITE EPDM ROOF MEMBRANE - 20 YR. WARRANTY SYSTEM
- METAL FASCIA SYSTEM

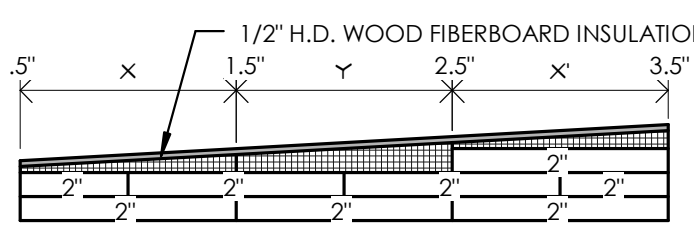
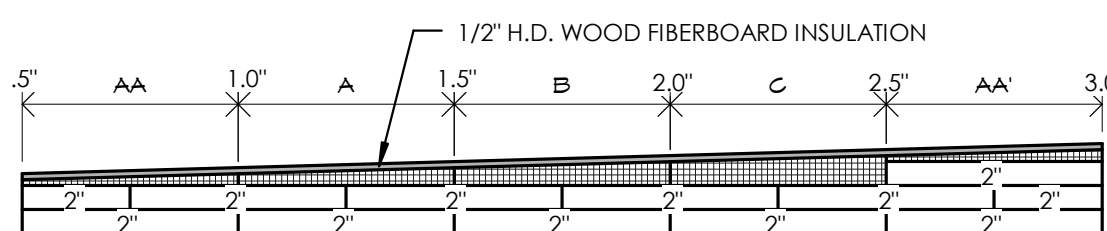
EXISTING ROOF LEVELS:

NOT IN CONTRACT

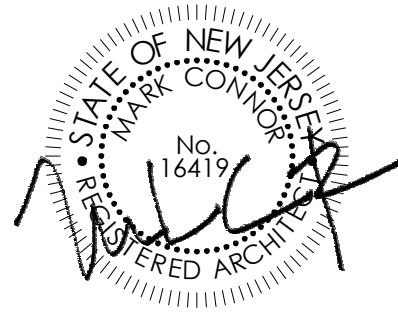
PANEL	TYPE	THICKNESS	SIZE	SLOPE
AA	TAPERED	0.5" - 1.0"	4' x 4'	1/8" PER FT
A	TAPERED	1.0" - 1.5"	4' x 4'	1/8" PER FT
B	TAPERED	1.5" - 2.0"	4' x 4'	1/8" PER FT
C	TAPERED	2.0" - 2.5"	4' x 4'	1/8" PER FT
X	CRICKET	0.5" - 1.5"	4' x 4'	1/4" PER FT
Y	CRICKET	1.5" - 2.5"	4' x 4'	1/4" PER FT
2.0"	FILL	2.0"	4' x 4'	N/A

PANEL SCHEDULE NOTES:

- ALL TAPERED INSULATION SHALL BE POLYISOCYANURATE
- DRAWINGS ONLY SHOW PENETRATIONS THAT HAVE BEEN DESIGNED TO RECEIVE POLYISOCYANURATE CRICKETS OR PENETRATIONS THAT OBSTRUCT POSITIVE DRAINAGE PATTERNS. ROOFER TO SUPPLY ALL OTHER REQUIRED CRICKET MATERIALS.
- CONTRACTOR TO TRANSITION PERIMETER CONDITIONS AS REQUIRED.
- CONTRACTOR TO PROVIDE TAPERED EDGE ROOF SUMPS AS REQUIRED.



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REVISIONS

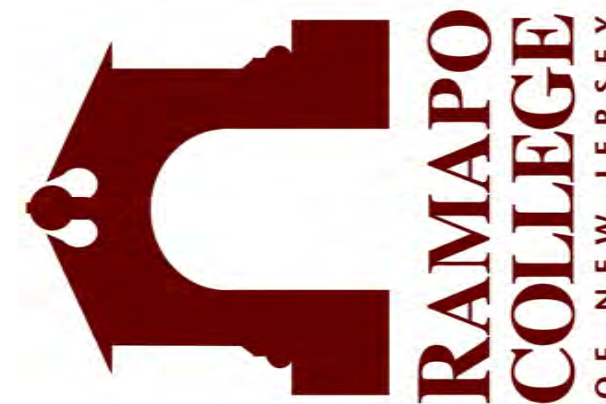
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**RAMAPO COLLEGE
OF NEW JERSEY**

RCU No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS

ROOF PLAN

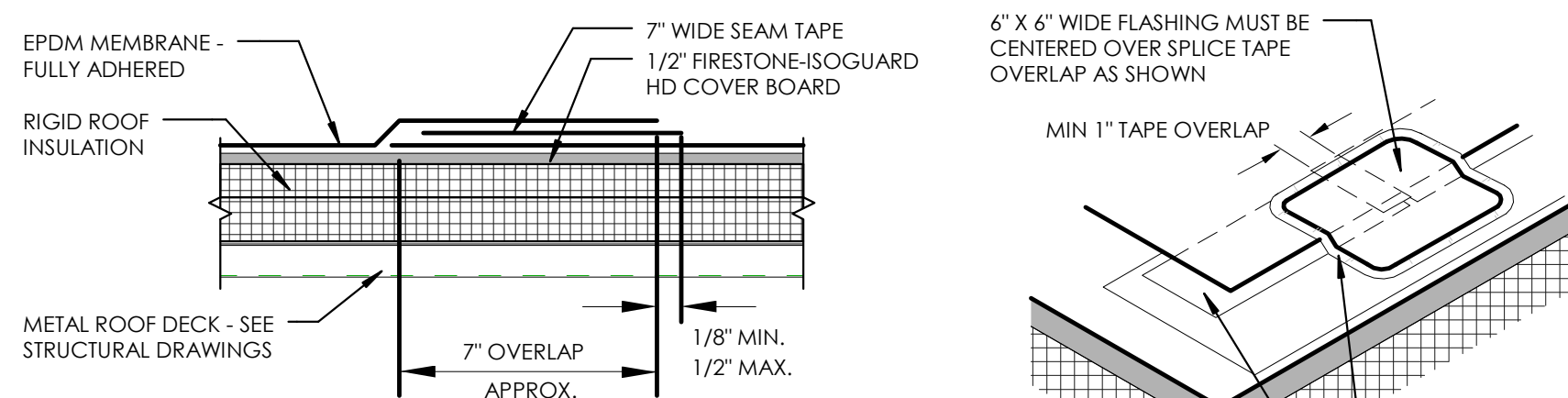


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DESCRIPTION:
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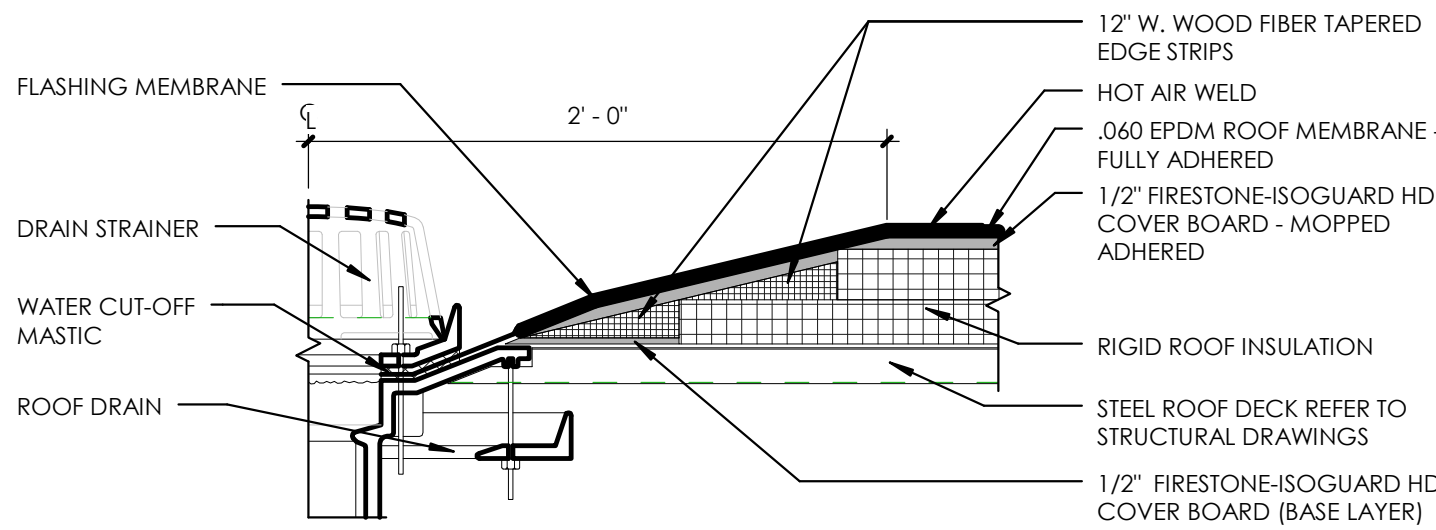


NOTES:

- PRIOR TO INSTALLATION OF SEAM TAPE, APPLY PRIMER TO SPICE AREAS.
- SEAM TAPE IS TO BE OVERLAPPED A MINIMUM OF 1 INCH AT THE ENDS OF EACH CUT PIECE. OVERLAY WITH FLASHING AS SHOWN ABOVE.
- LAP SEALANT IS REQUIRED ON EDGES OF FLASHING USED AT TAPE OVERLAPS AND SPICE INTERSECTIONS.

3 TYPICAL ROOF SEAM DETAIL

1 1/2" = 1'-0"

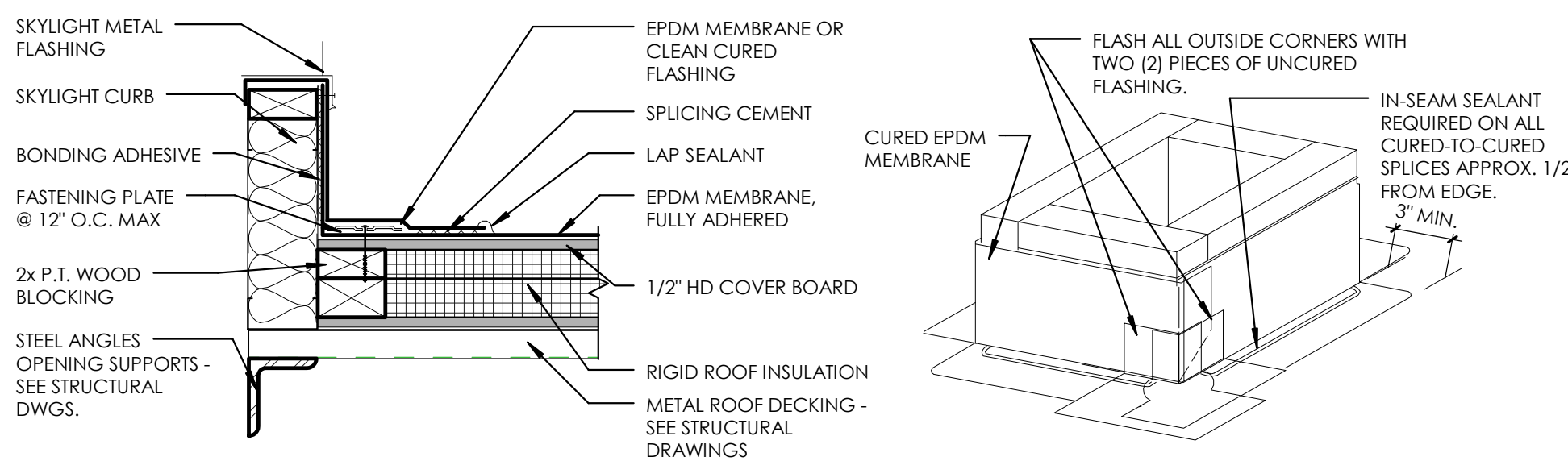


NOTE:

- PROVIDE A 4'-0" x 4'-0" TAPERED SUMP w/ 1/2" WIDE WOOD FIBER TAPERED EDGE STRIPS.
- ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
- HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
- NEW ROOF DRAINS TO BE SET SO THAT LIP OF THE NEW DRAIN BOWL IS 2" ABOVE STEEL DECK.

4 TYPICAL ROOF DRAIN DETAIL

1 1/2" = 1'-0"

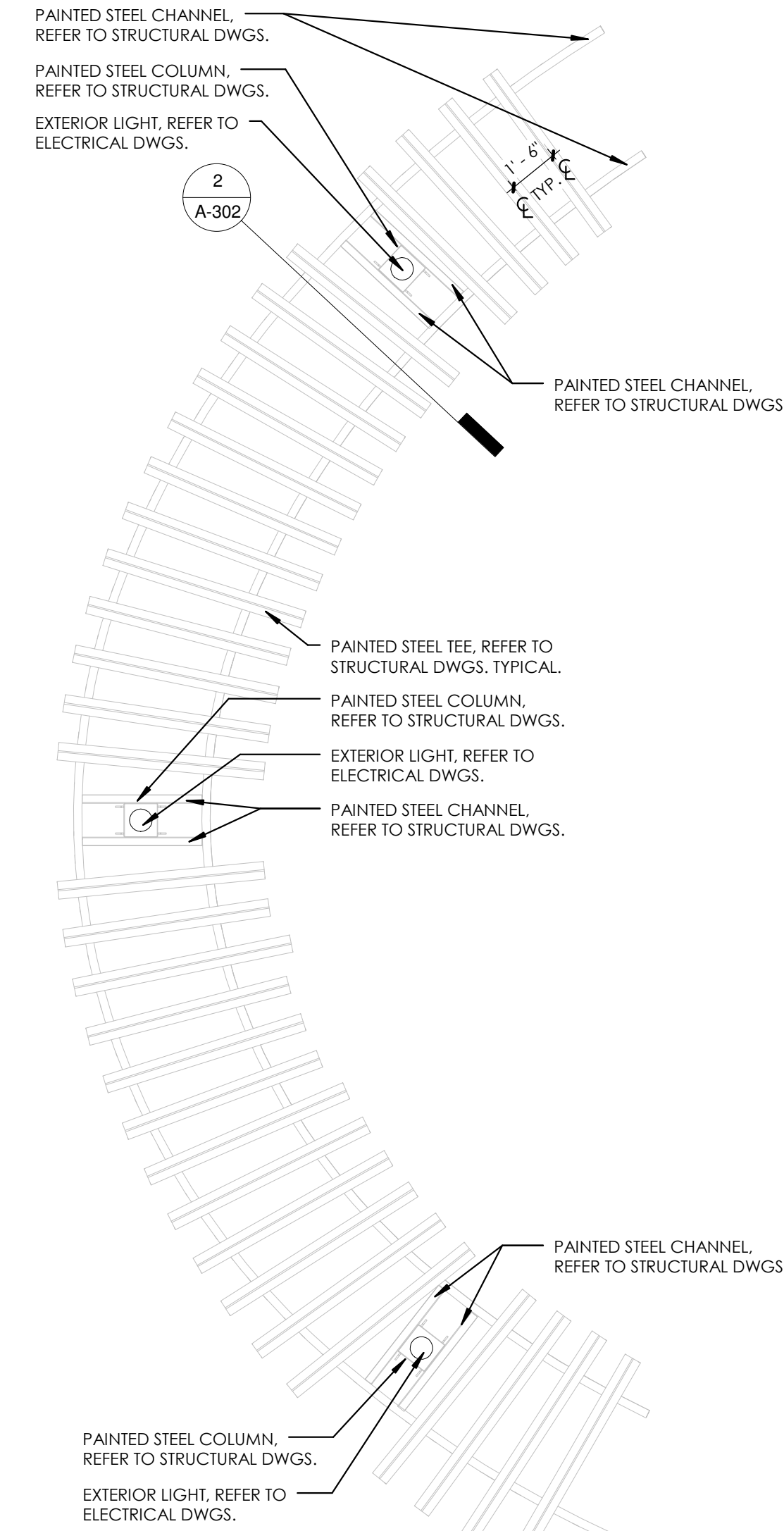


NOTES:

- FASTEN MEMBRANE FLASHING 12" O.C. IF FASTENER PENETRATES METAL COUNTERFLASHING, USE EPDM WASHER OR APPLY WATER CUT-OFF MASTIC OR CAULK FASTENER HEAD.
- IF VERTICAL SPICE NOT LOCATED AT CORNER, 6" WIDE UNCURED FLASHING OR PRESSURE SENSITIVE FLASHING MUST BE CENTERED OVER FIELD SPICE AT ANGLE CHANGE.
- PENETRATIONS IN EXISTING ROOF TO BE DONE WITH MATCHING MATERIALS & MANUFACTURES APPROVED DETAILS

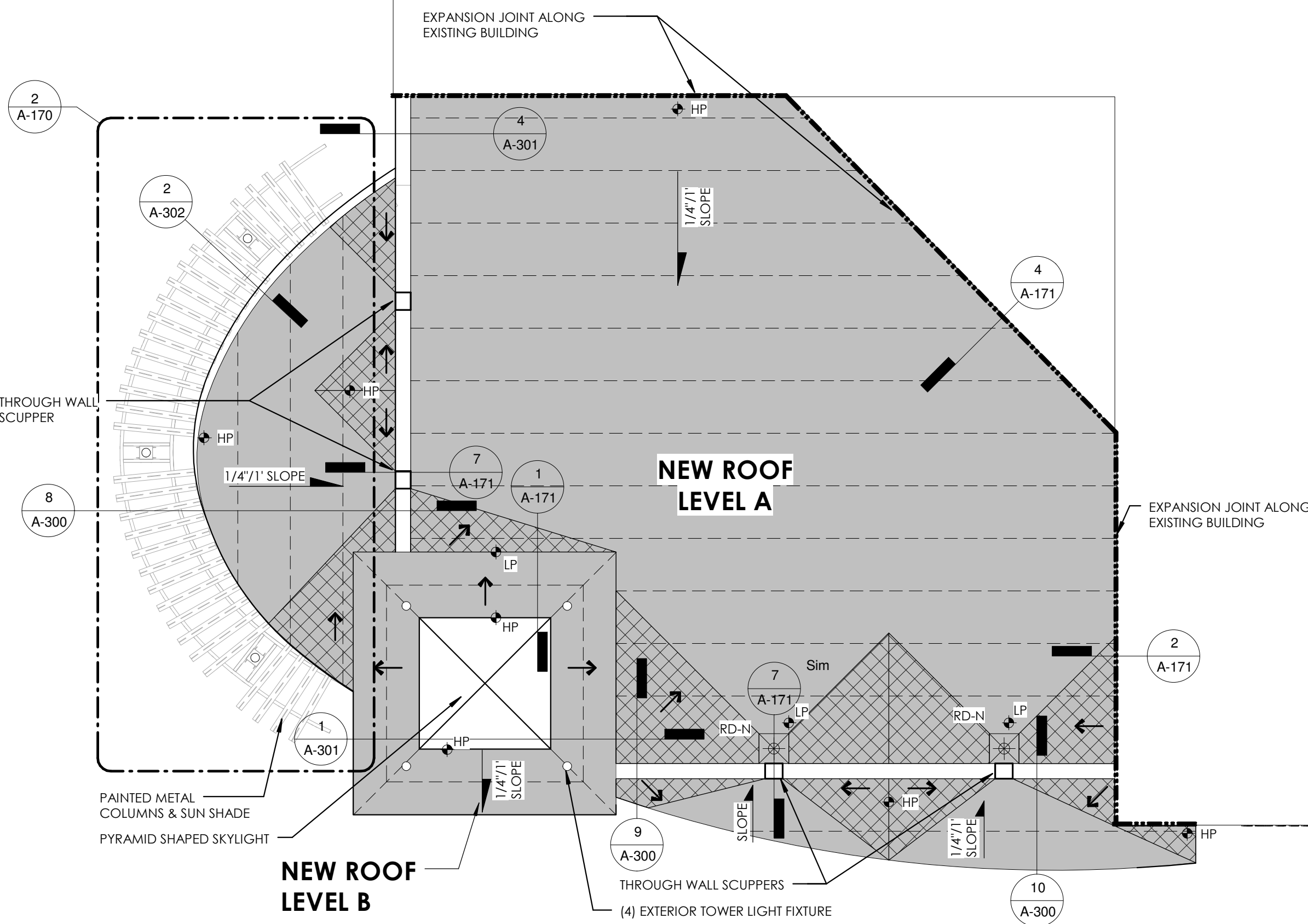
5 ROOF DETAIL @ CURB

1 1/2" = 1'-0"



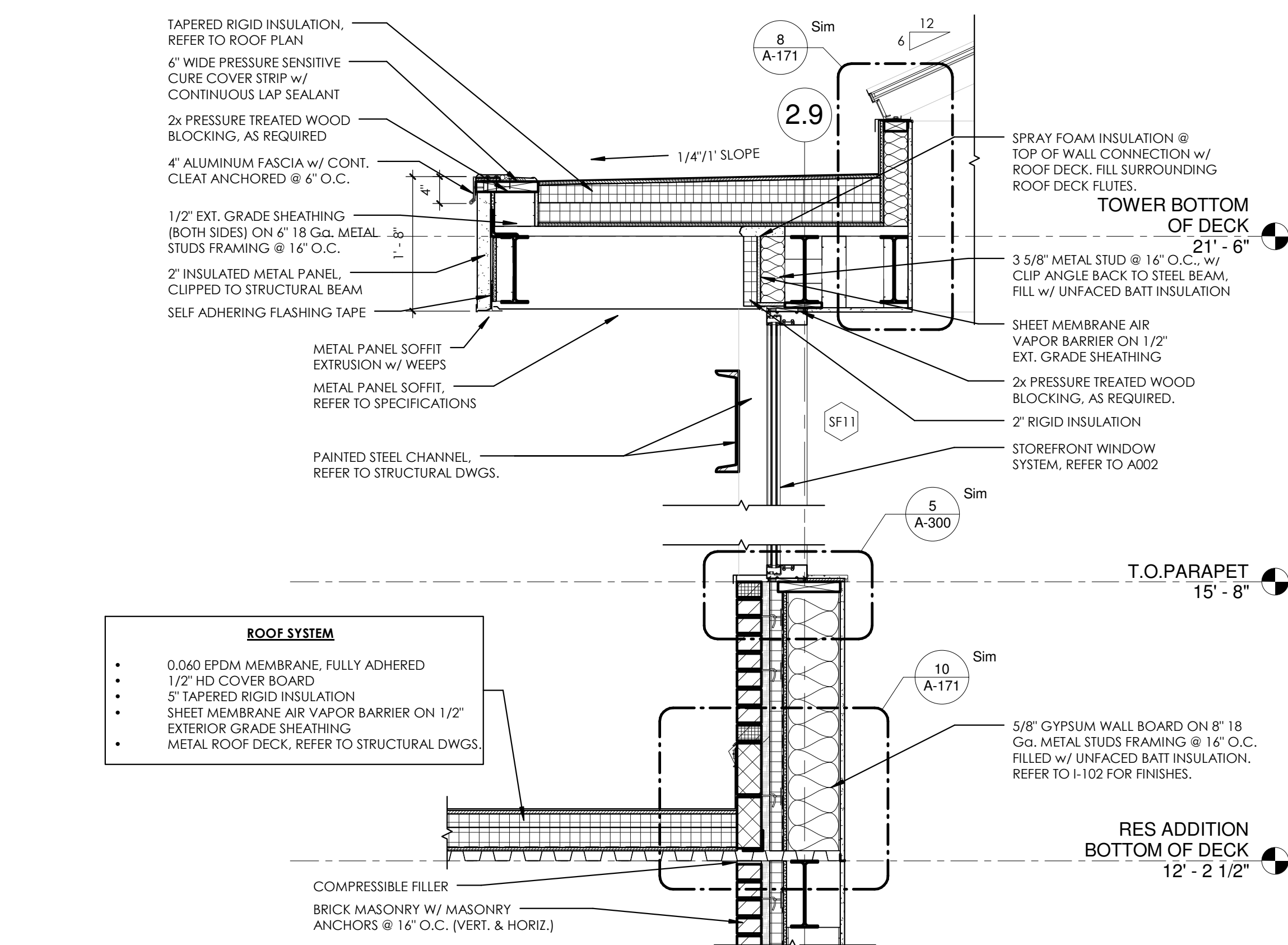
2 ROOF PLAN - SUN SHADE

1/4" = 1'-0"

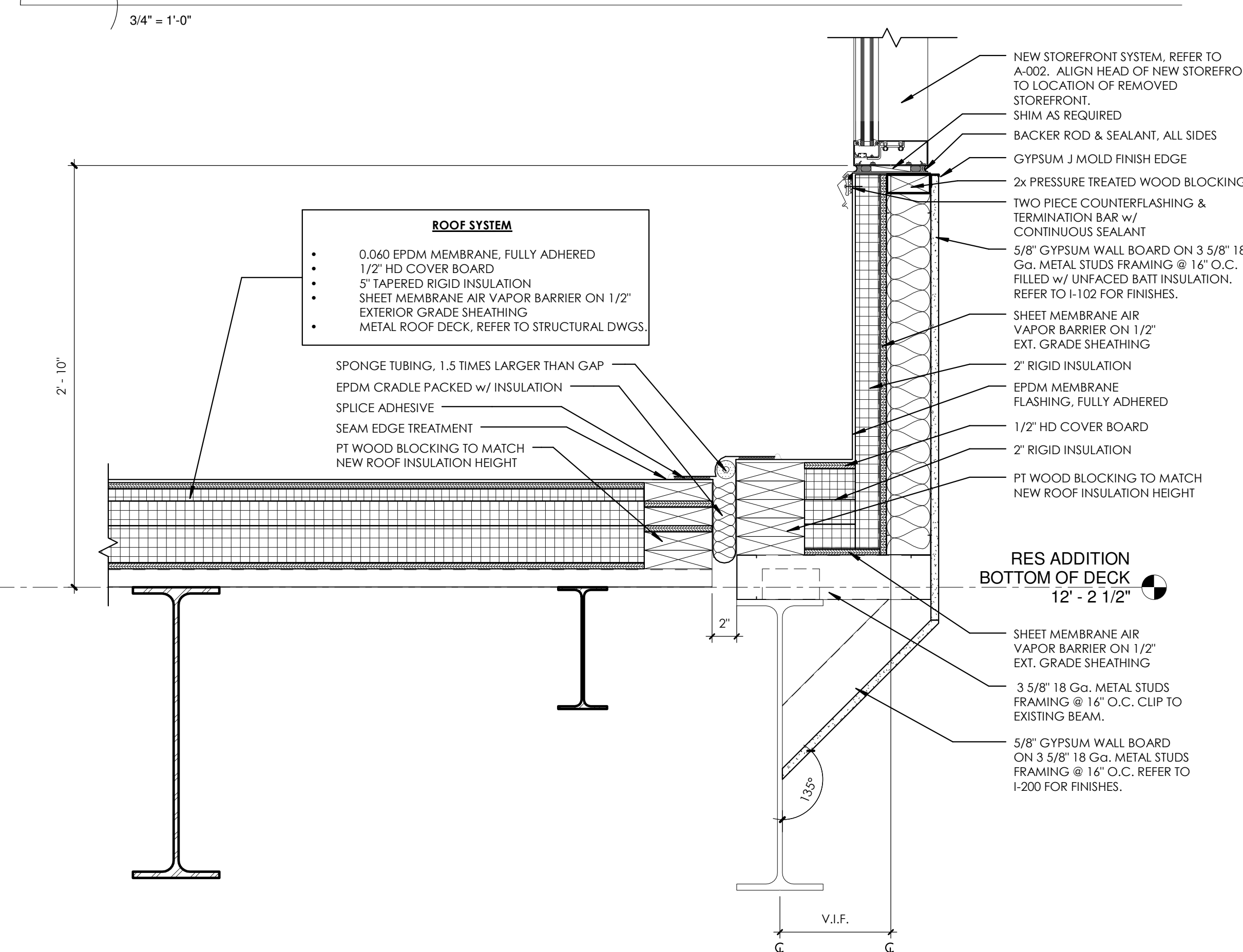


1 ROOF PLAN

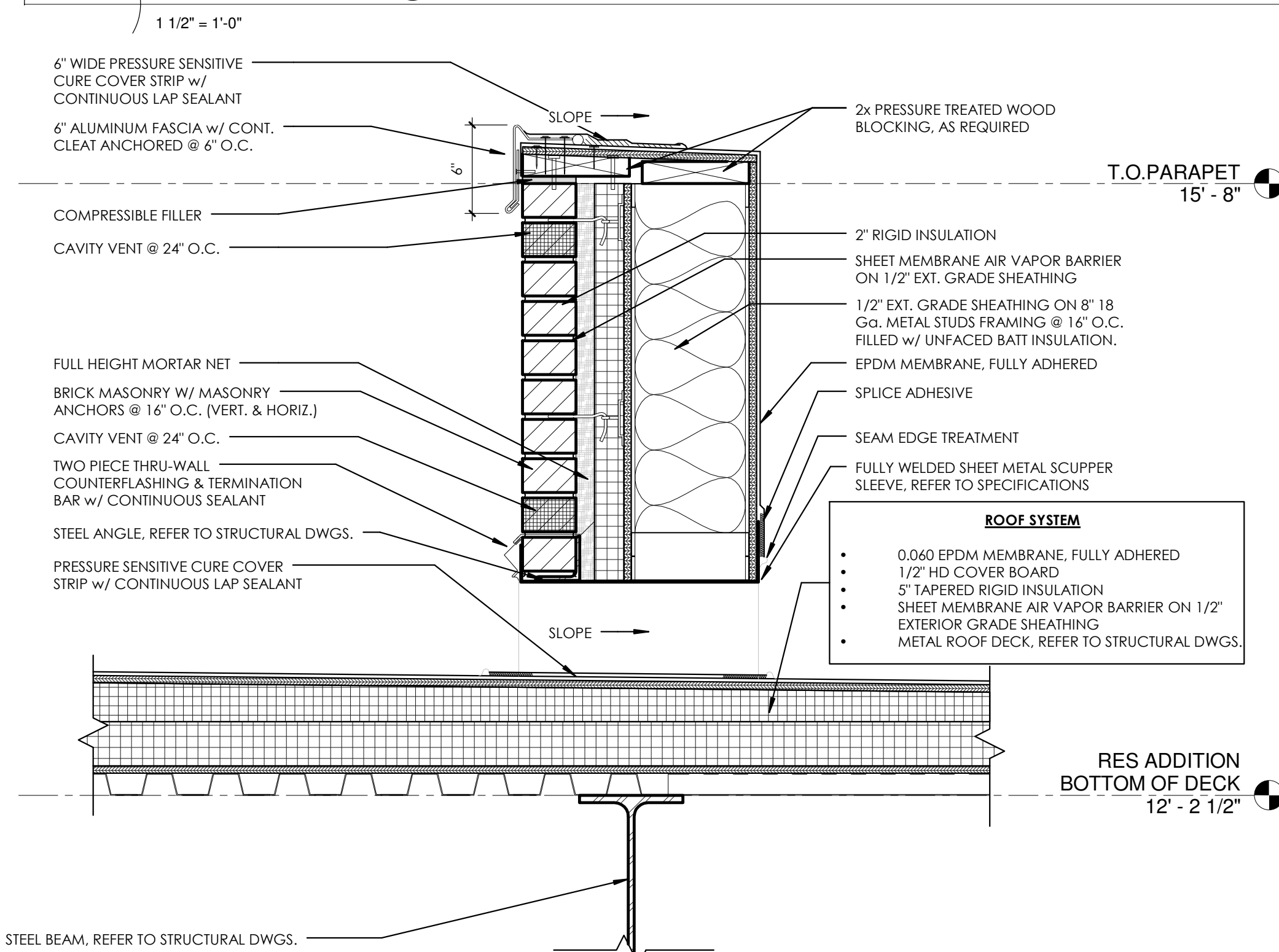
1/8" = 1'-0"



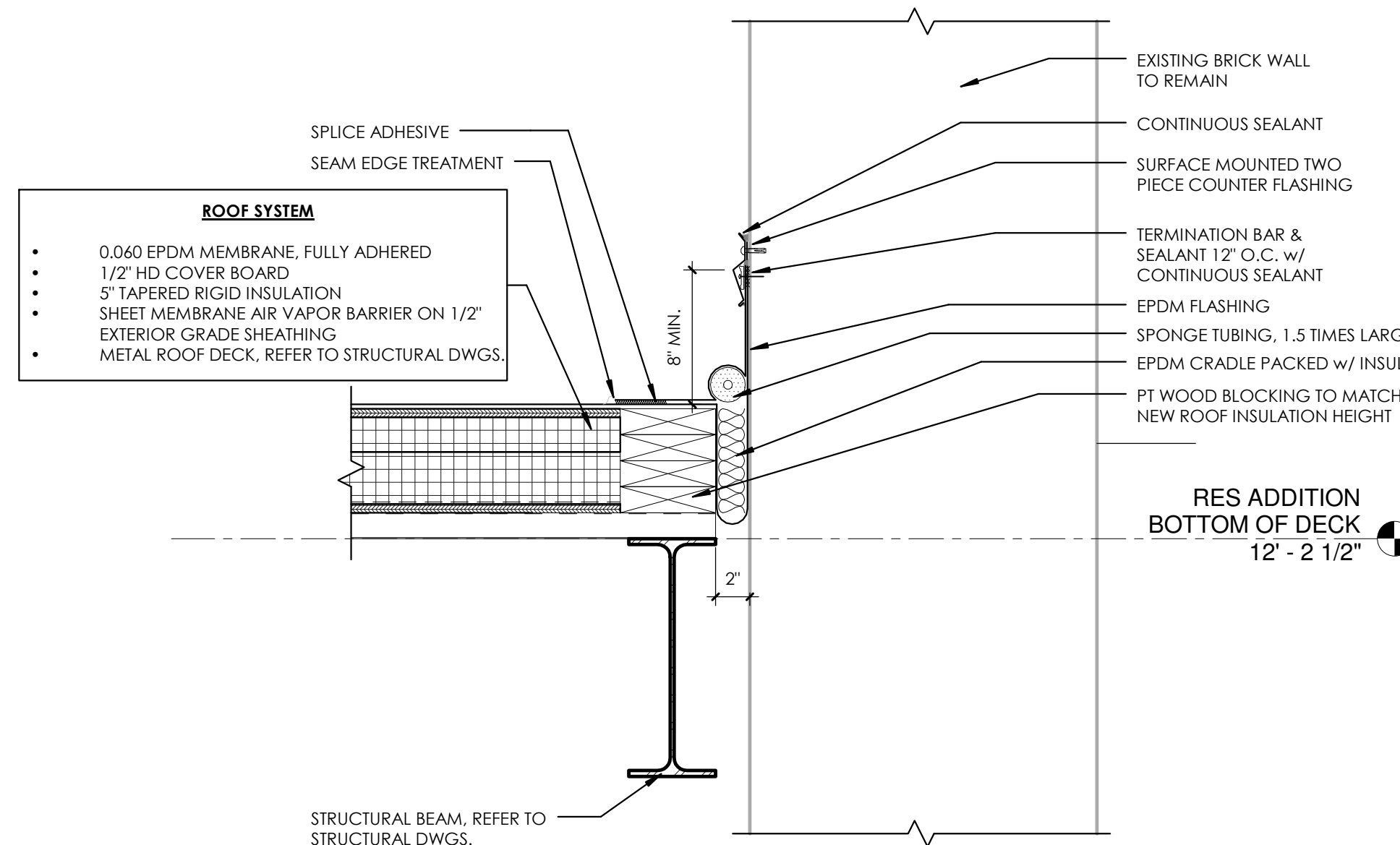
1 TOWER ROOF DRAIN



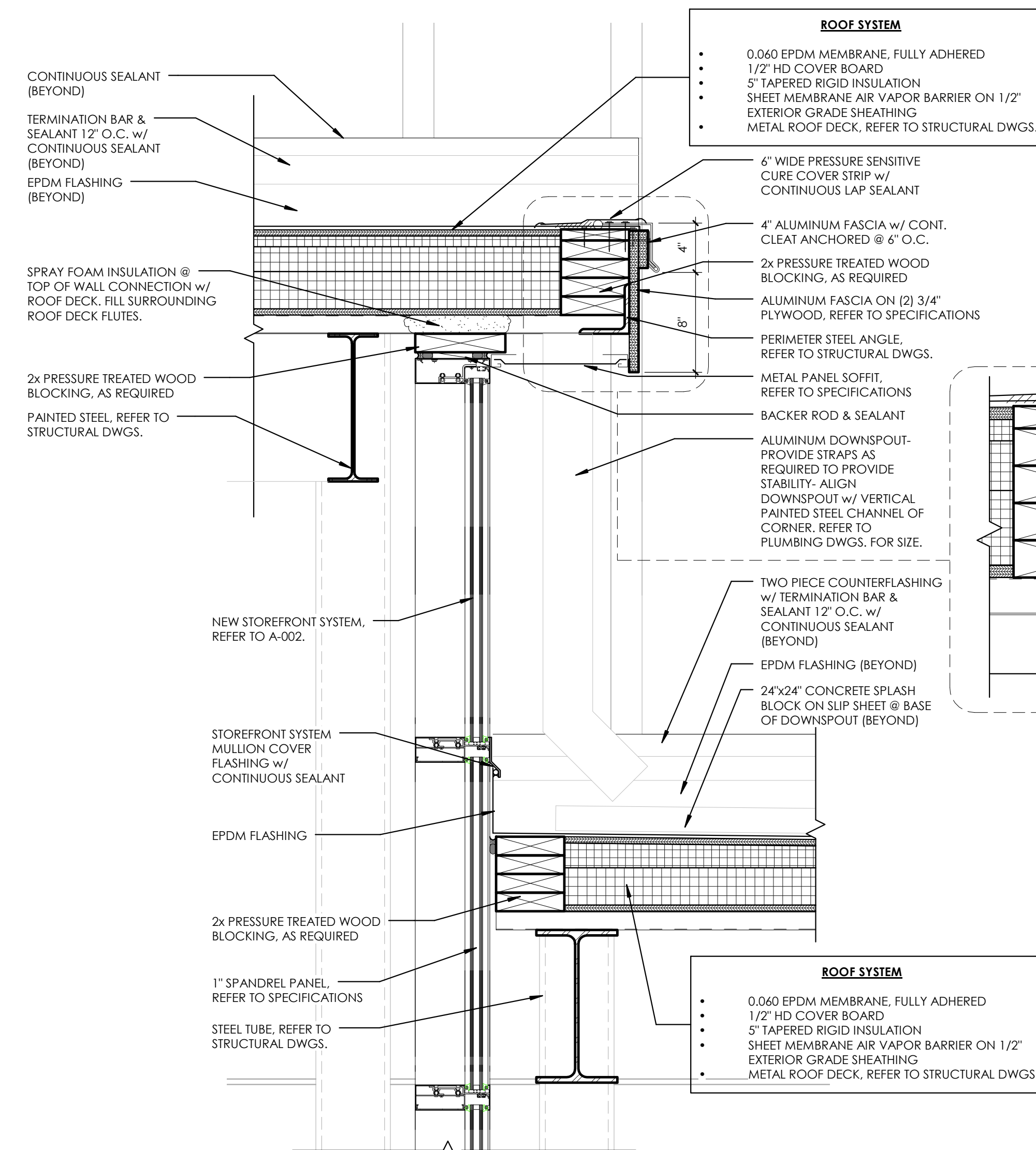
4 ROOF DETAIL @ SECOND FLOOR STOREFRONT



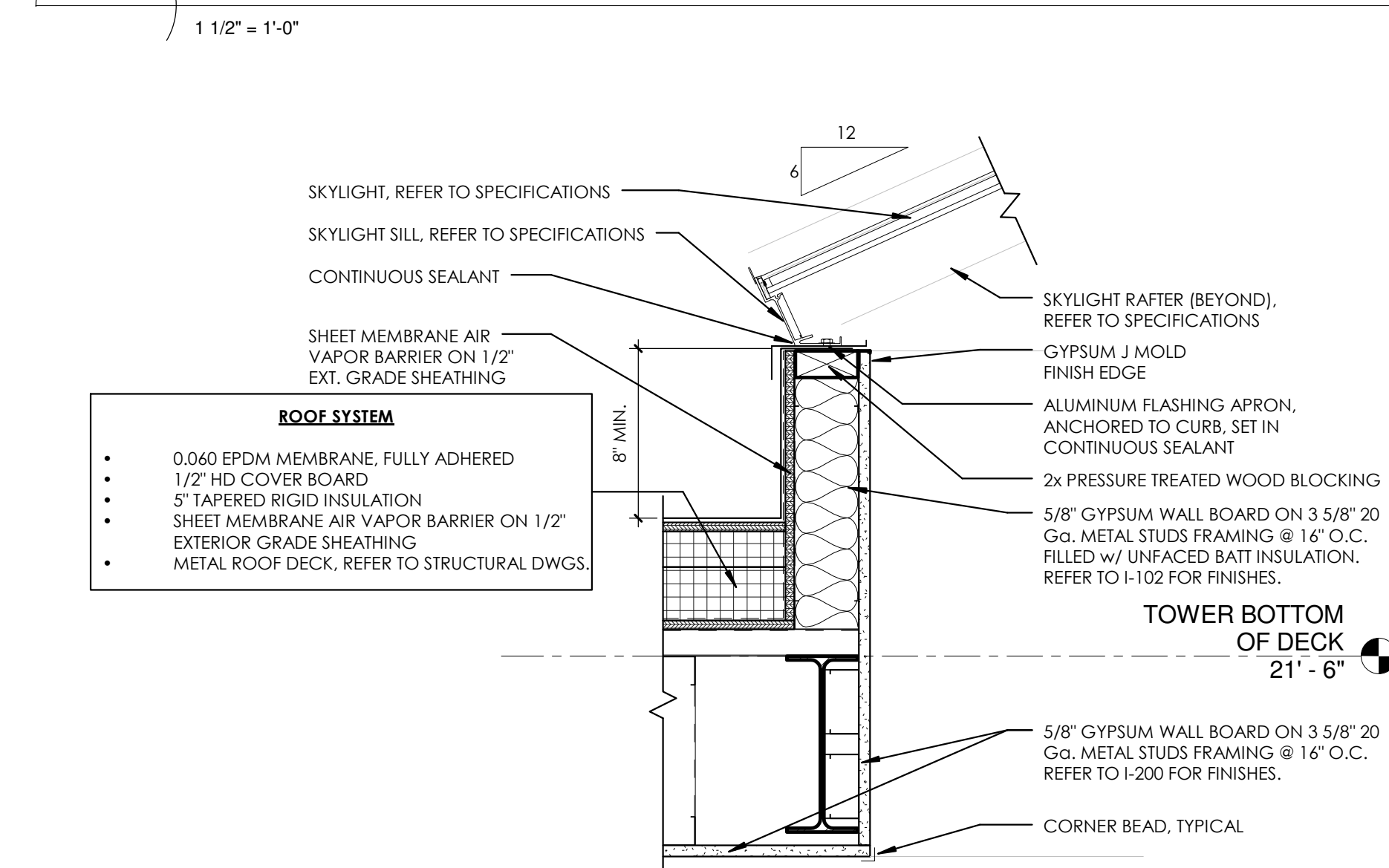
7 SCUPPER DETAIL



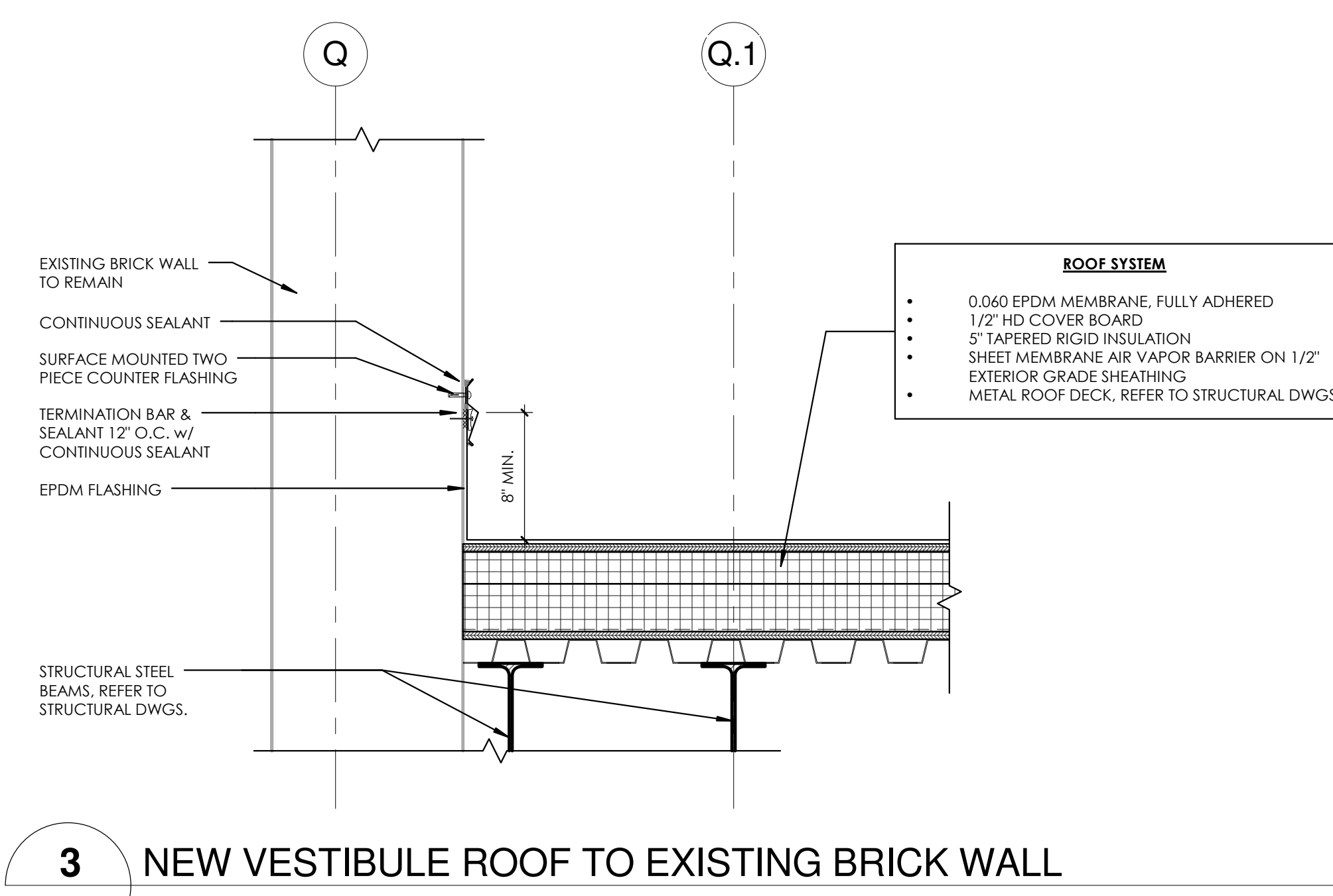
2 NEW ROOF TO EXISTING BRICK WALL @ EXPANSION JOINT



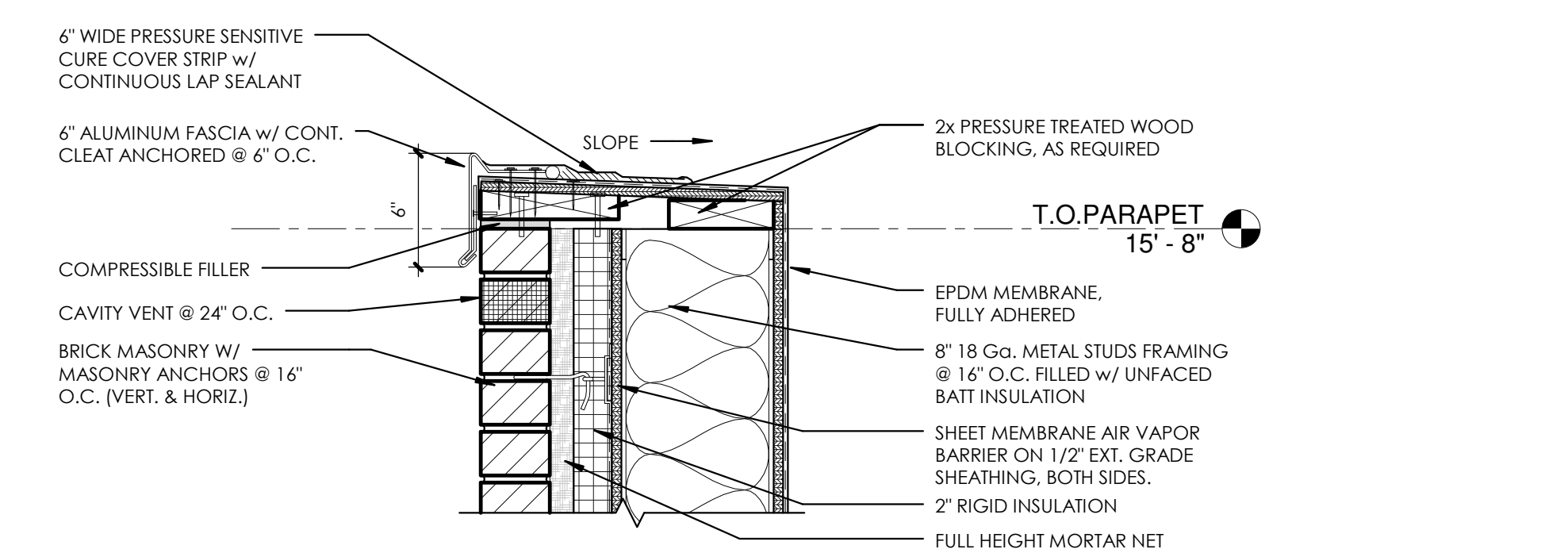
5 VESTIBULE HIGH TO LOW ROOF



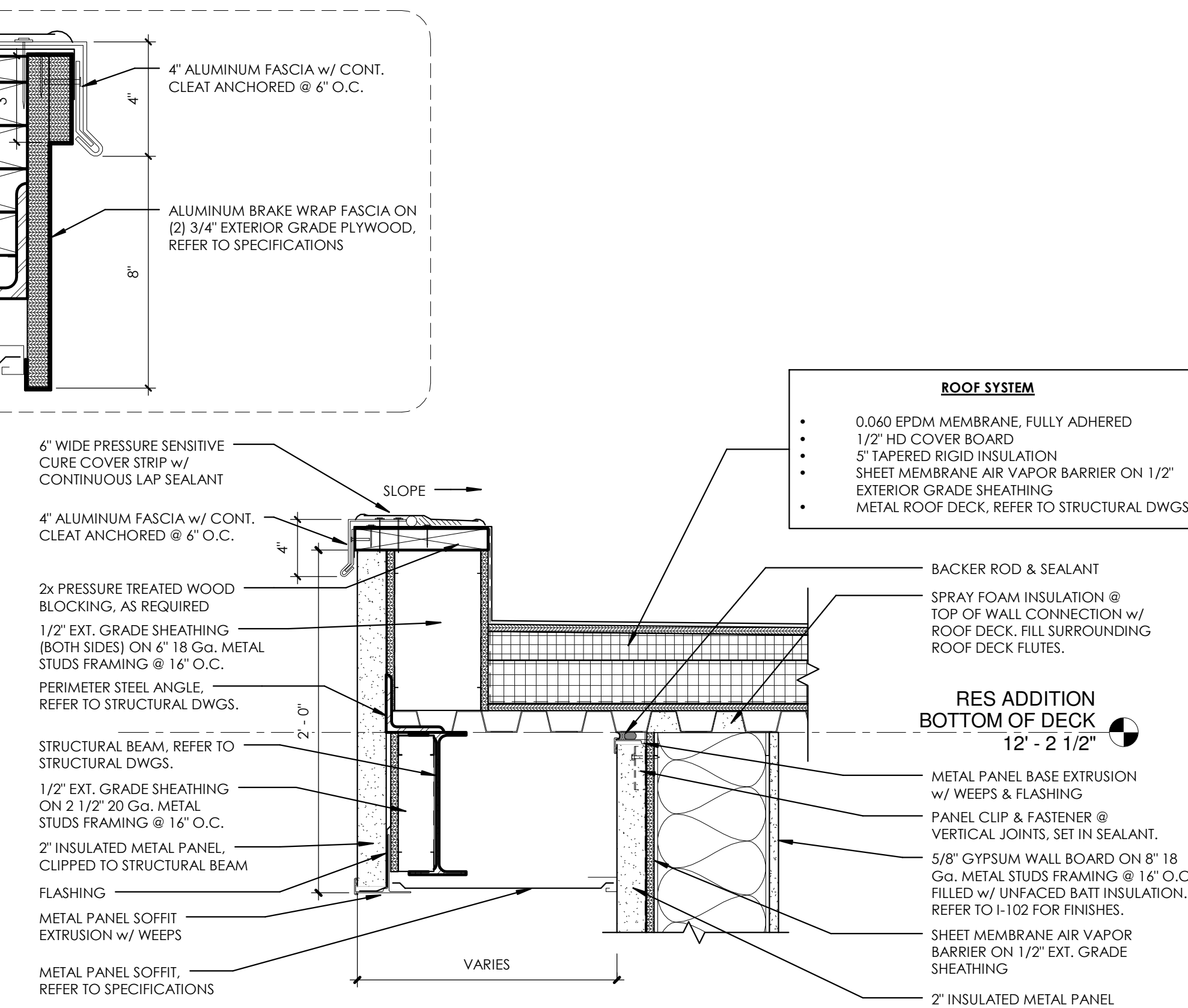
8 SKYLIGHT ROOF DETAIL



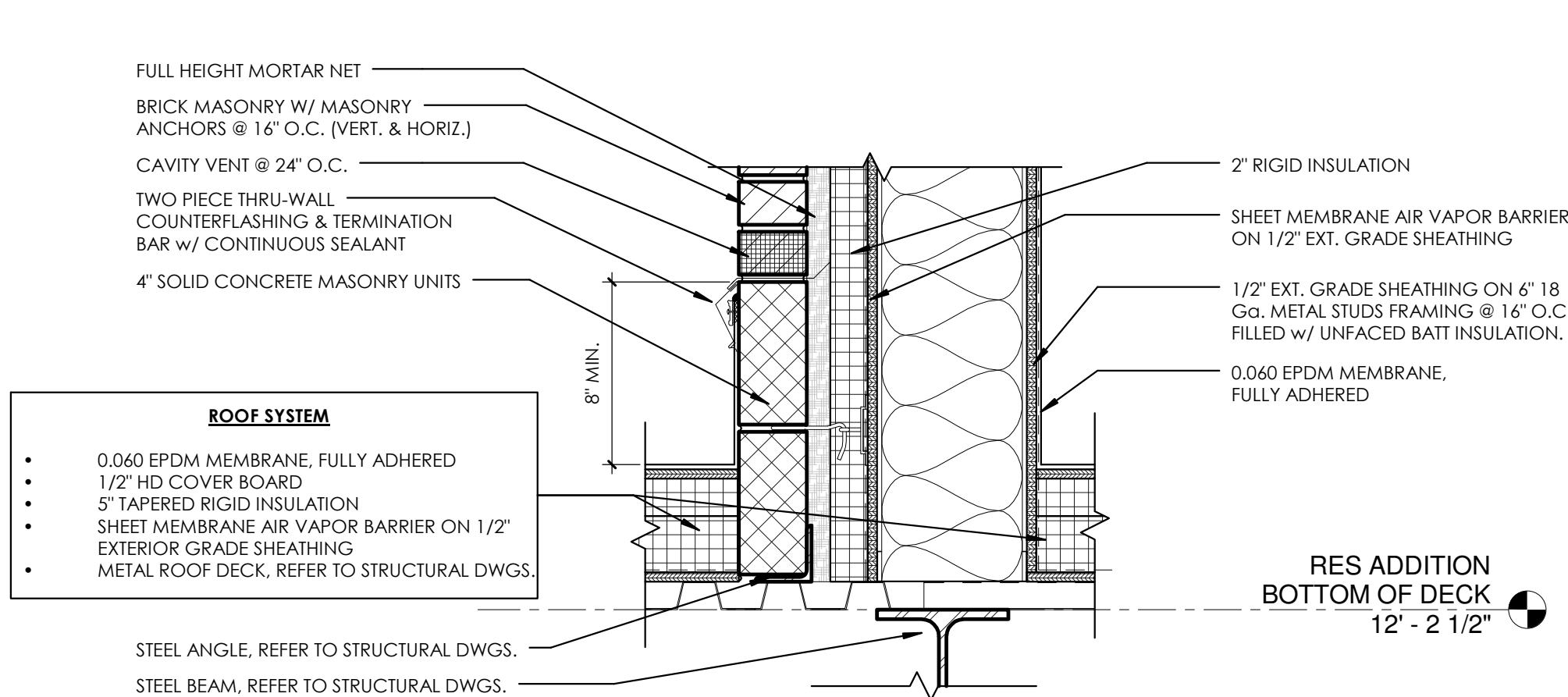
3 NEW VESTIBULE ROOF TO EXISTING BRICK WALL



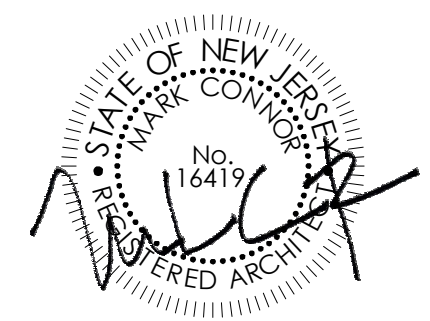
6 BRICK WALL ROOF EDGE DETAIL



9 METAL PANEL ROOF EDGE DETAIL



10 BRICK WALL TO ROOF DETAIL



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ROOF DETAILS

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201-937-0131 PHASE 2: ALTERATIONS & ADDITIONS

RRCNJ No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS



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03.24.2016

DESCRIPTION:
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SHEET:

A-171

EXTERIOR ELEVATIONS

KEYED NOTES

1. STOREFRONT WINDOW SYSTEM w/ VARIABLE WIDTH MULLION SPACING, & MULTIPLE WINDOW GLASS TINTS. REFER TO A-002 & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. STOREFRONT WINDOW SYSTEM w/ VARIABLE WIDTH MULLION SPACING, ALIGN NEW STOREFRONT TO LOCATION OF REMOVED STOREFRONT. REFER TO A-002 & SPECIFICATIONS FOR ADDITIONAL INFORMATION.
3. PARTIAL NEW BRICK WALL INFILL AT BASE TO ALIGN w/ ADJACENT EXISTING OPENING. REFER TO A-301 FOR ADDITIONAL INFORMATION.
4. PAINTED METAL CHANNEL EXTERIOR OF STOREFRONT. REFER TO STRUCTURAL DWGS.
5. NEW BRICK TO MATCH EXISTING BRICK OF BUILDING. COURSING TO MATCH EXISTING BUILDING.
6. NEW METAL PANEL WALL.
7. NOT USED.
8. PAINTED METAL COLUMNS & GLASS CANOPY AT ENTRY AREA.
9. PAINTED METAL CHANNEL AT CORNERS. REFER TO STRUCTURAL DRAWINGS.
10. PYRAMID SKYLIGHT. REFER TO SPECIFICATIONS.
11. NEW ALUMINUM SIGNAGE AS PER SPECIFICATIONS. VERIFY FONT SIZE & CONTENT w/ OWNER PRIOR TO THE START OF WORK.
12. EXISTING BRIDGE TO REMAIN.
13. PAINTED METAL SUN SHADE. REFER TO STRUCTURAL DRAWINGS.
14. EXTERIOR POST LIGHT. REFER TO ELECTRICAL DRAWINGS.

EXTERIOR PAINT ON ALL EXPOSED STEEL MUST BE AS FOLLOWS, OR SIMILAR:

- HIGH PERFORMANCE PAINT SYSTEMS
- A. STRUCTURAL STEEL (PREVIOUSLY COATED - FACTORY APPLIED SHOP PRIMER)
1. URETHANE SYSTEM (WATER BASE):
 - A. GLOSS FINISH:
 - 1ST COAT: S-W PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER, B66-310 SERIES, (5.0 MILS WET, MILS DRY).
 - 2ND COAT: S-W WATERBASED ACRYLON 100, B65-720 SERIES, (4.0 MILS WET, 2.0 MILS DRY PER COAT).
 - 3RD COAT: S-W WATER BASED ACRYLON 100, B65-720 SERIES (4.0 MILS WET, 2.0 MILS DRY PER COAT).
 2. NON-FERROUS METAL (EXTERIOR GALVANIZED PIPING):
 - A. GLOSS FINISH:
 - 1ST COAT: S-W RECOATABLE EPOXY PRIMER, B67-5 SERIES (6.0 MILS WET, 4.0 MILS DRY).
 - 2ND COAT: S-W HI-SOLIDS POLYURETHANE, B65-300 SERIES.
 - 3RD COAT: S-W HI-SOLIDS POLYURETHANE, B65-300 SERIES (4.5 MILS WET, 3.0 MILS DRY PER COAT).
 2. FERROUS METAL (EXTERIOR PIPING):
 - A. SEMI-GLOSS FINISH:
 - 1ST COAT: S-W GALVALAPAC 1K ZINC PRIMER (3.0 - 4.0 MILS DRY)
 - 2ND COAT: S-W MACROPOXY 646 FAST CURE EPOXY (5.0 - 10.0 MILS DRY)
 - 3RD COAT: S-W HI-SOLIDS POLYURETHANE, B65-300 SERIES (4.5 MILS WET, 3.0 MILS DRY PER COAT).

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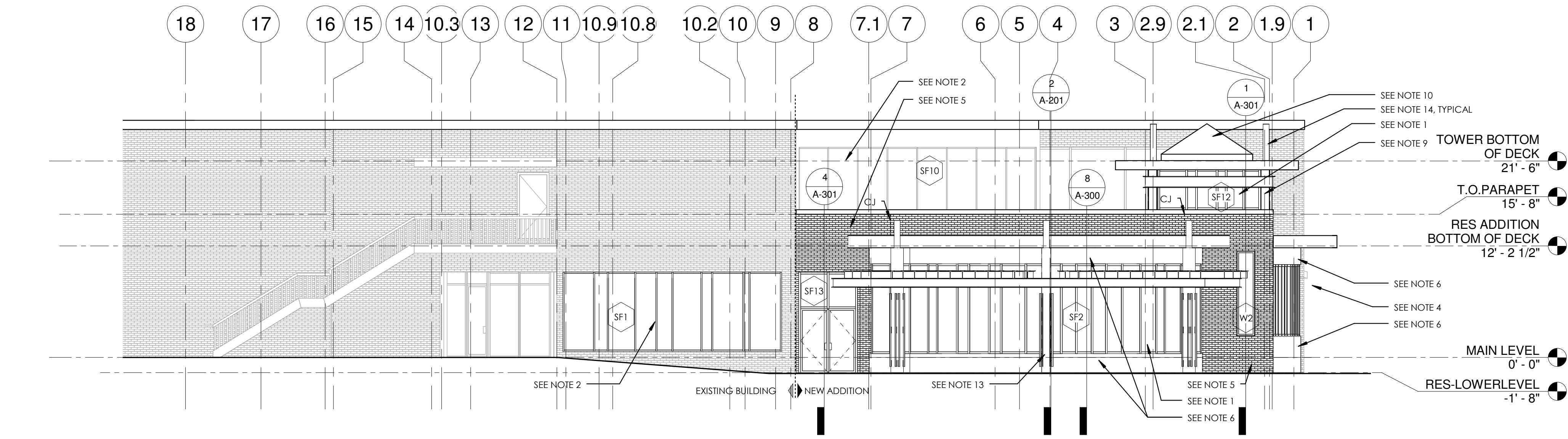


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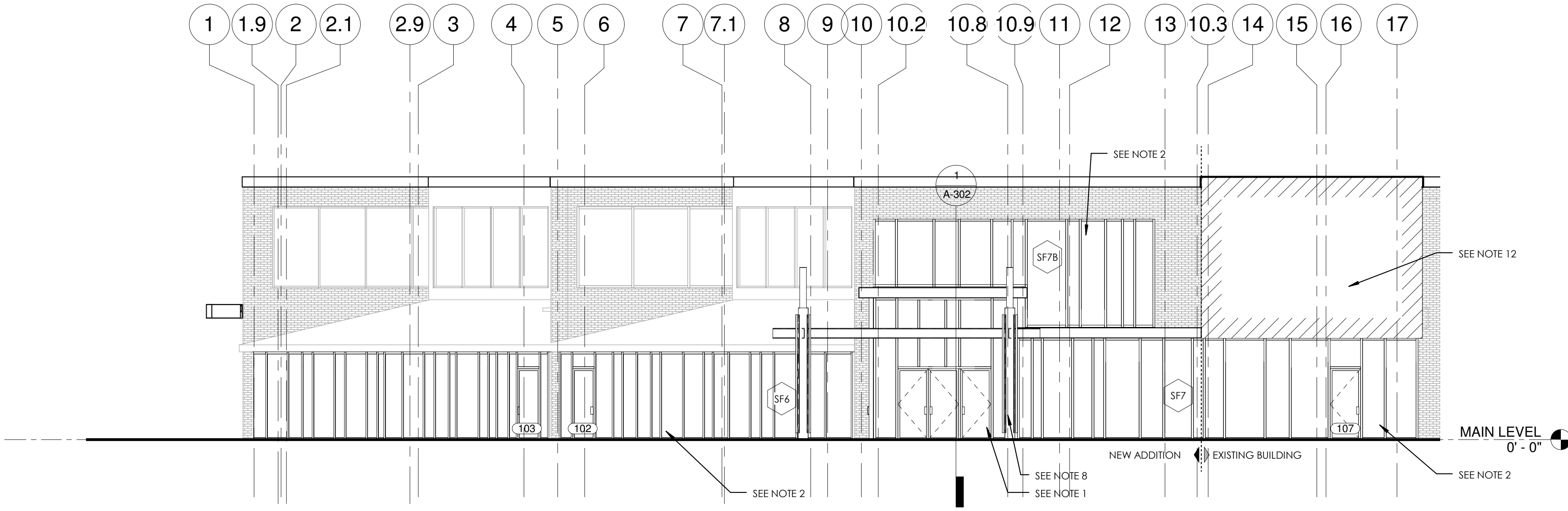
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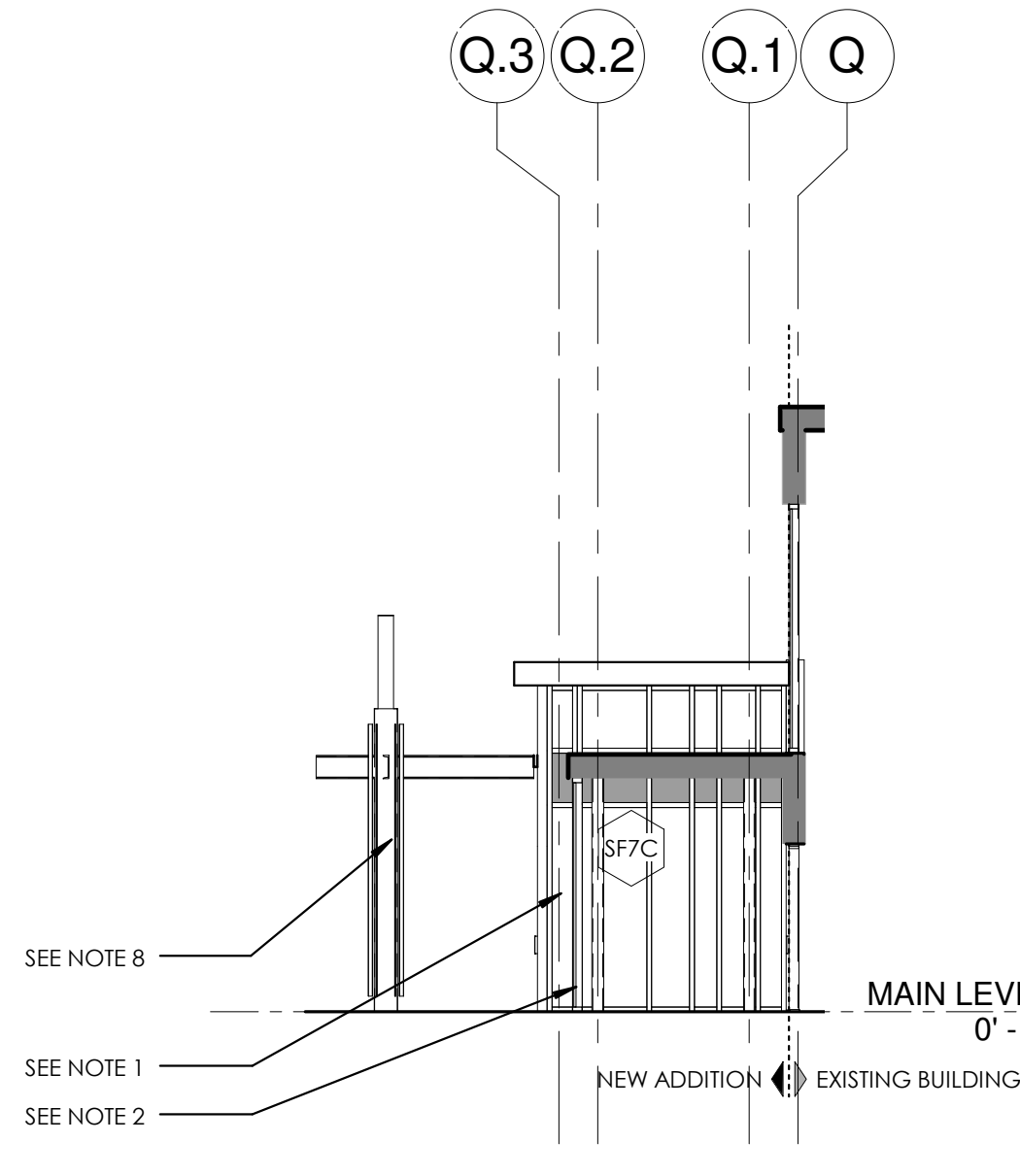
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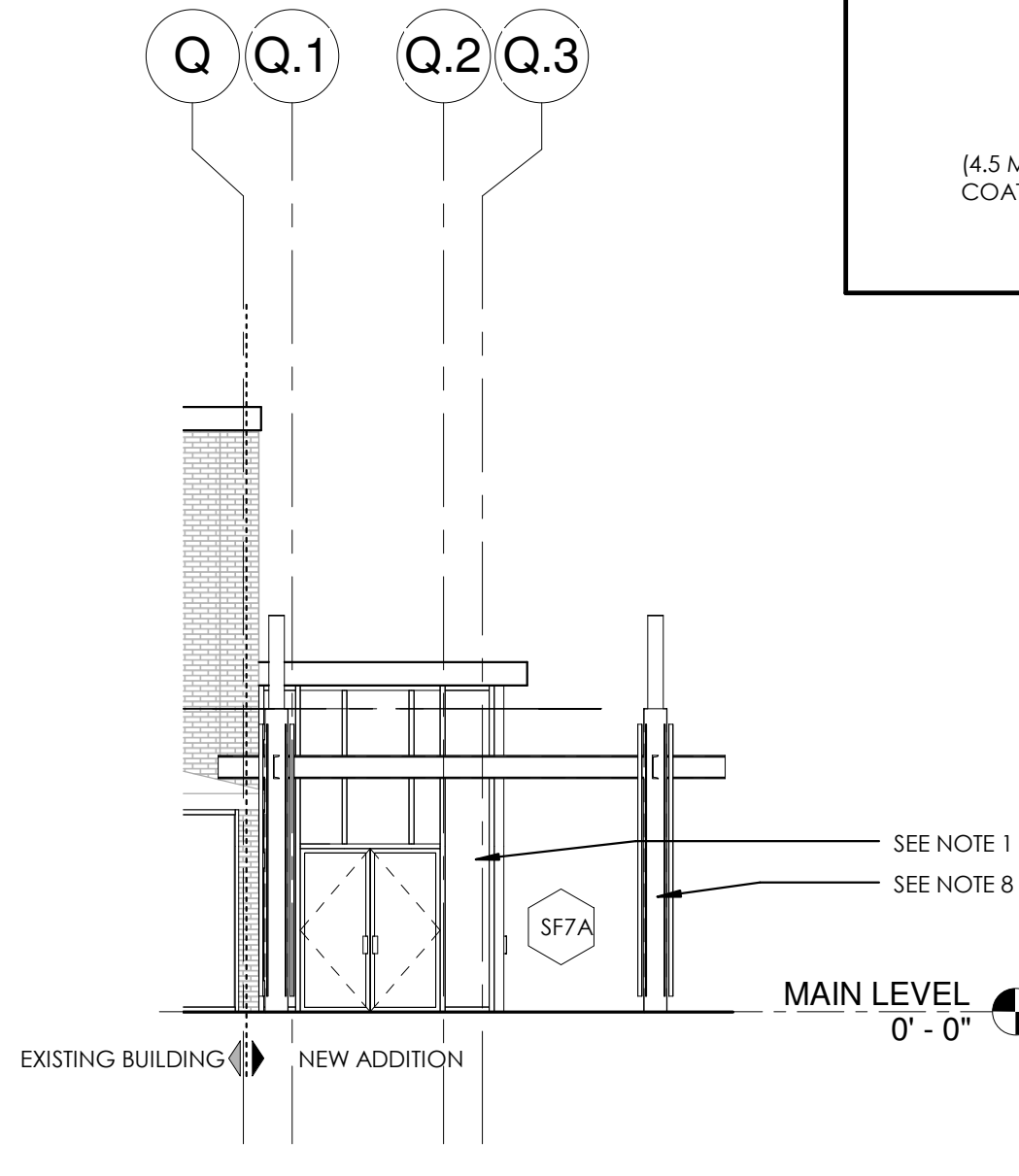
1 EAST
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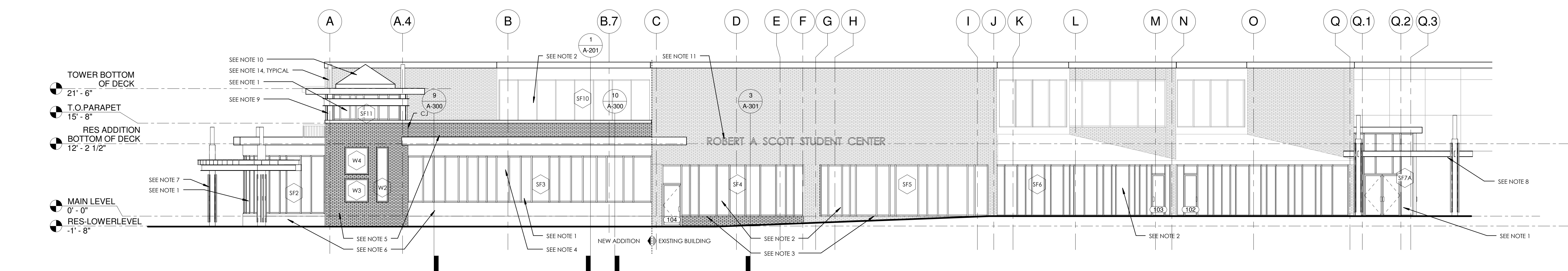
2 WEST
1/8" = 1'-0"



3 VESTIBULE SOUTH
1/8" = 1'-0"



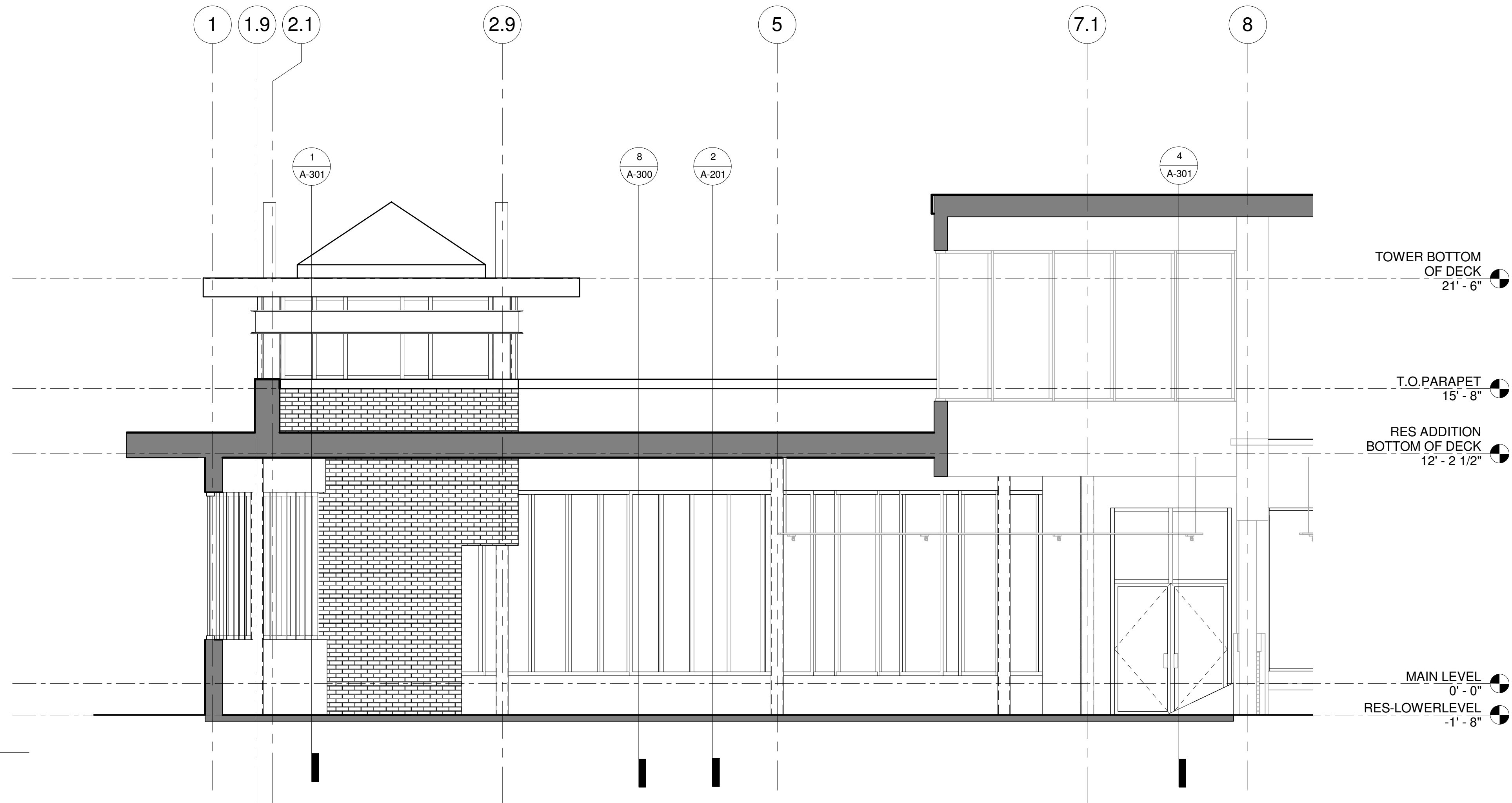
4 VESTIBULE NORTH
1/8" = 1'-0"



5 NORTH
1/8" = 1'-0"

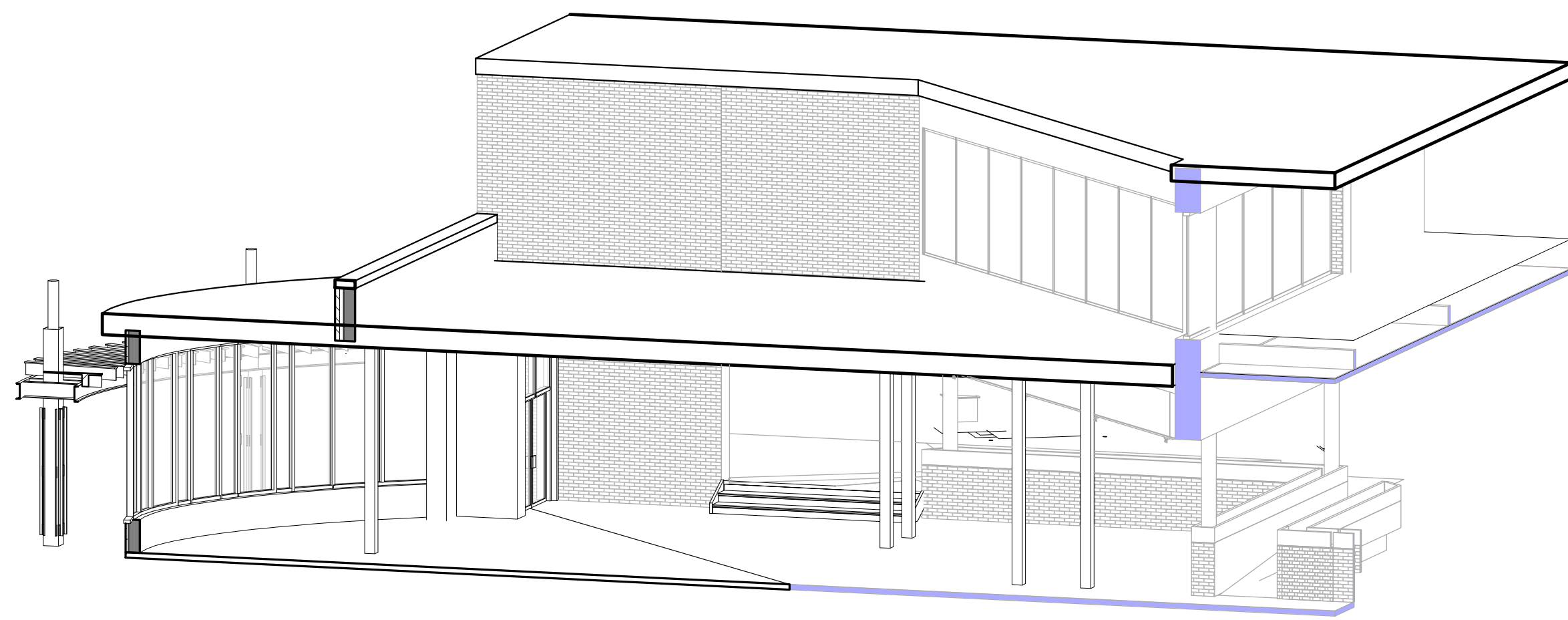


1.1 BUILDING SECTION 1 3D VIEW

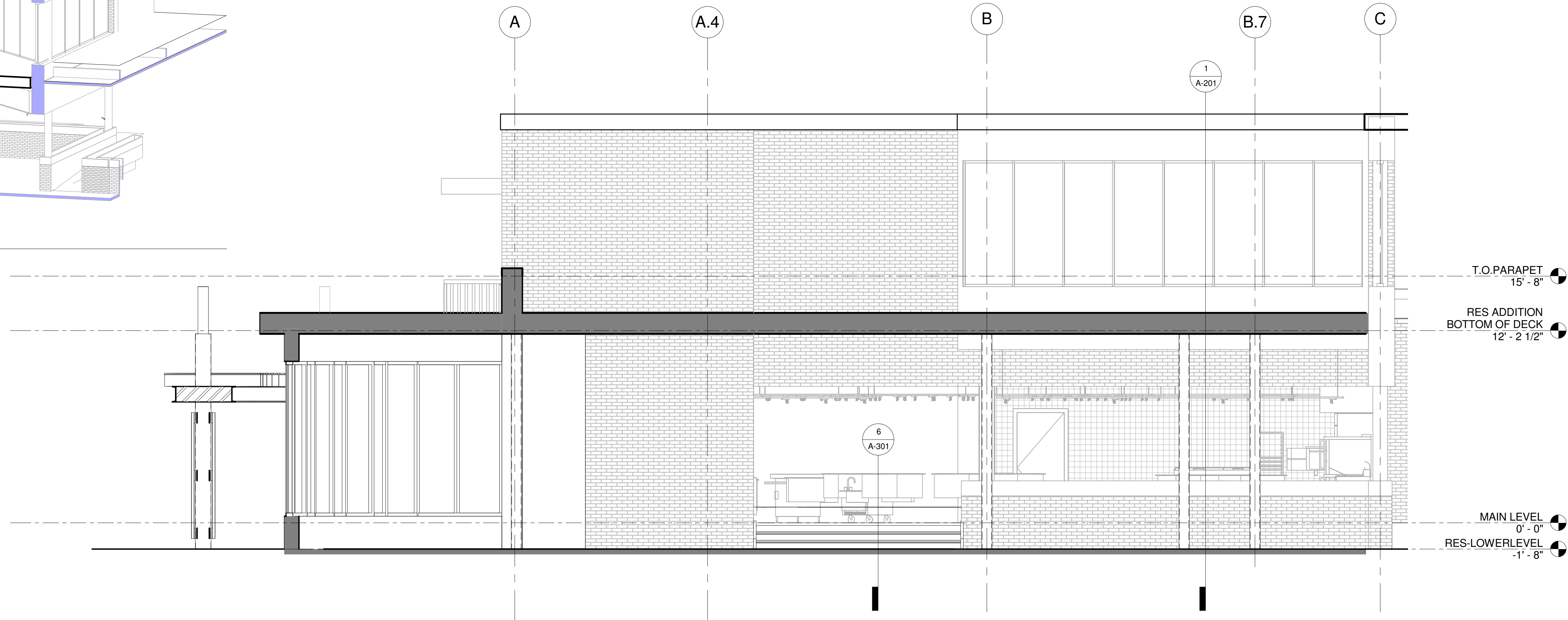


1 BUILDING SECTION 1

1/4" = 1'-0"



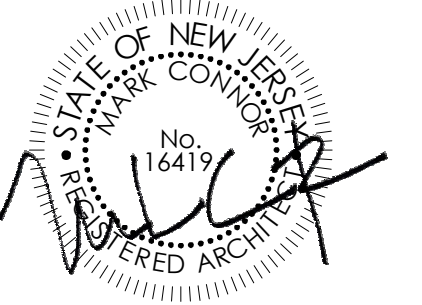
2.1 BUILDING SECTION 2 3D VIEW



2 BUILDING SECTION 2

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BUILDING SECTIONS

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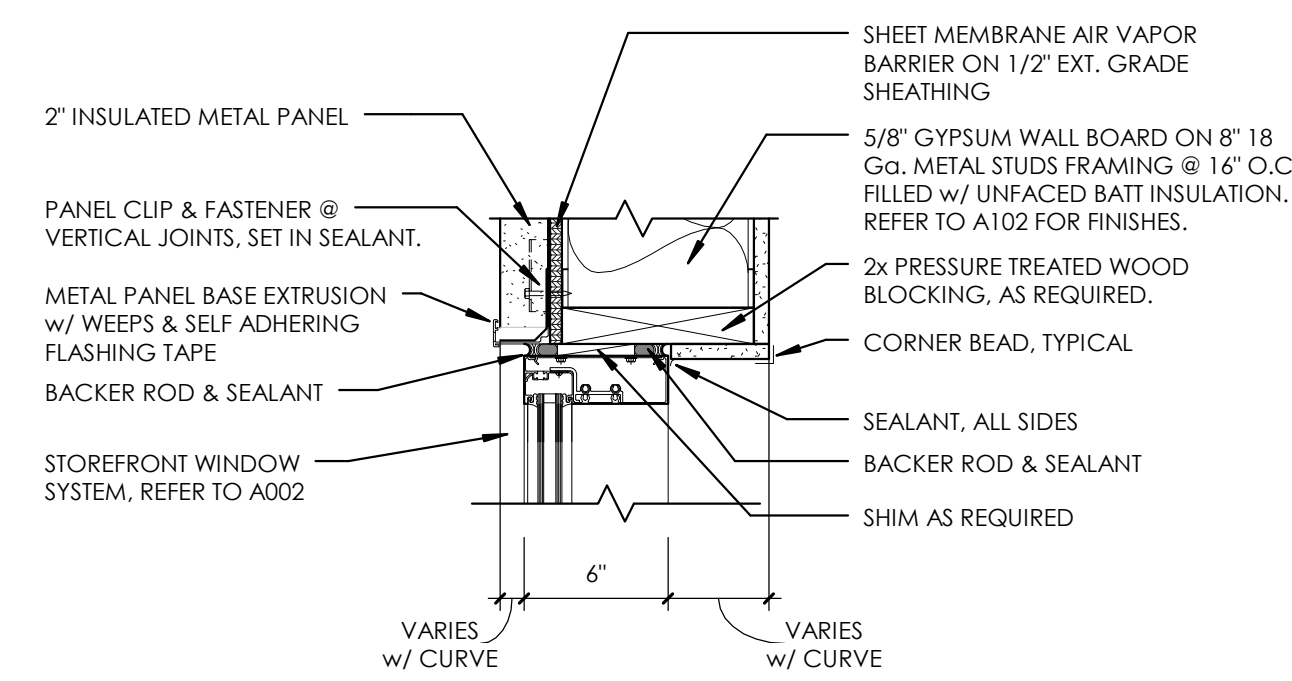


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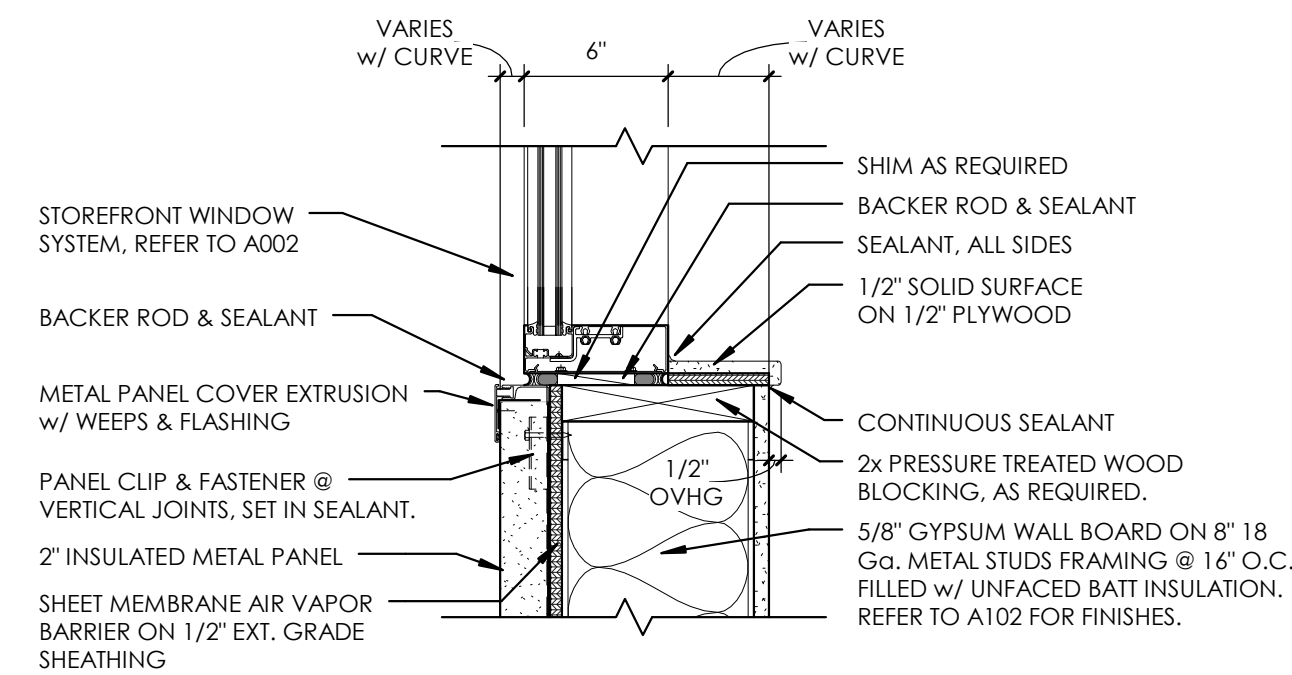
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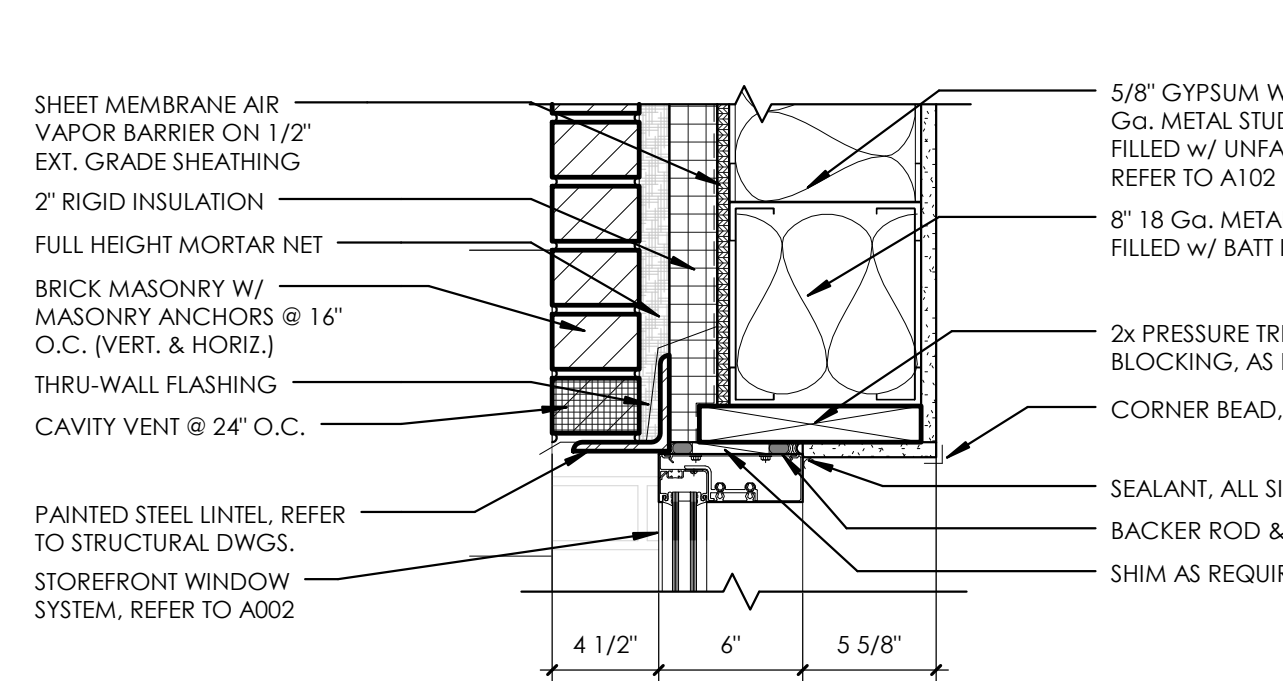
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1 WINDOW HEAD DETAIL

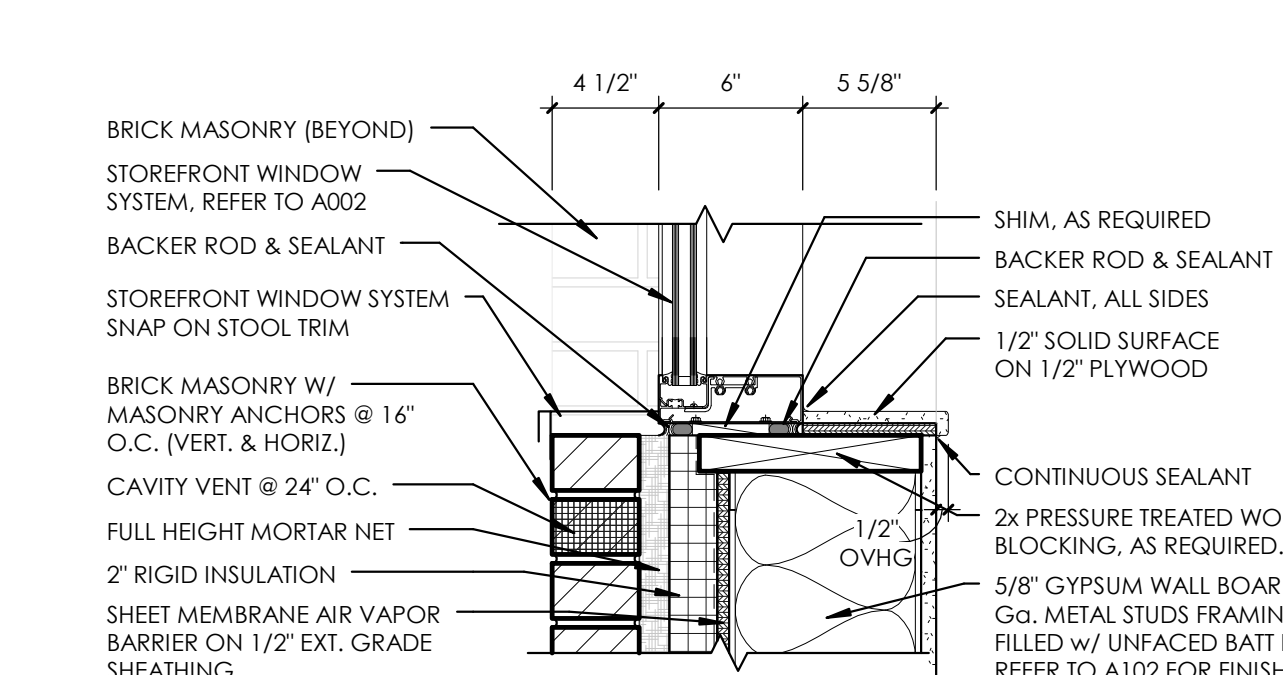
1 1/2" = 1'-0"


4 WINDOW SILL DETAIL

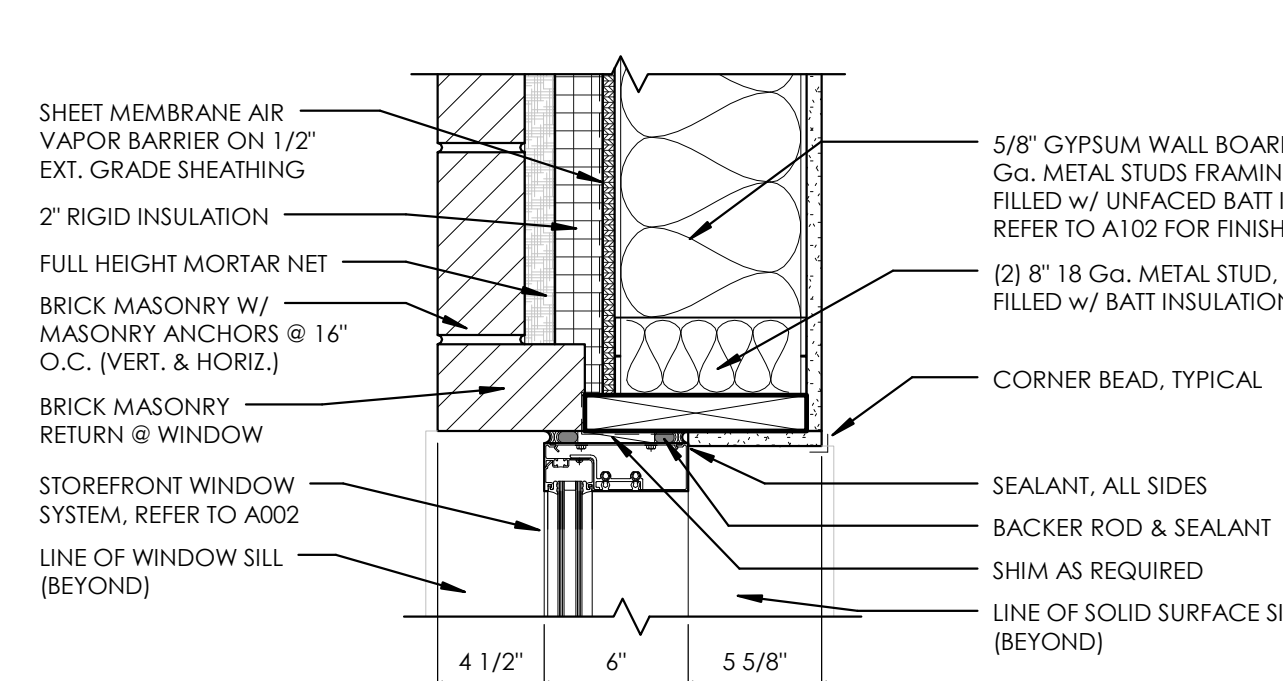
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2 WINDOW HEAD DETAIL @ BRICK

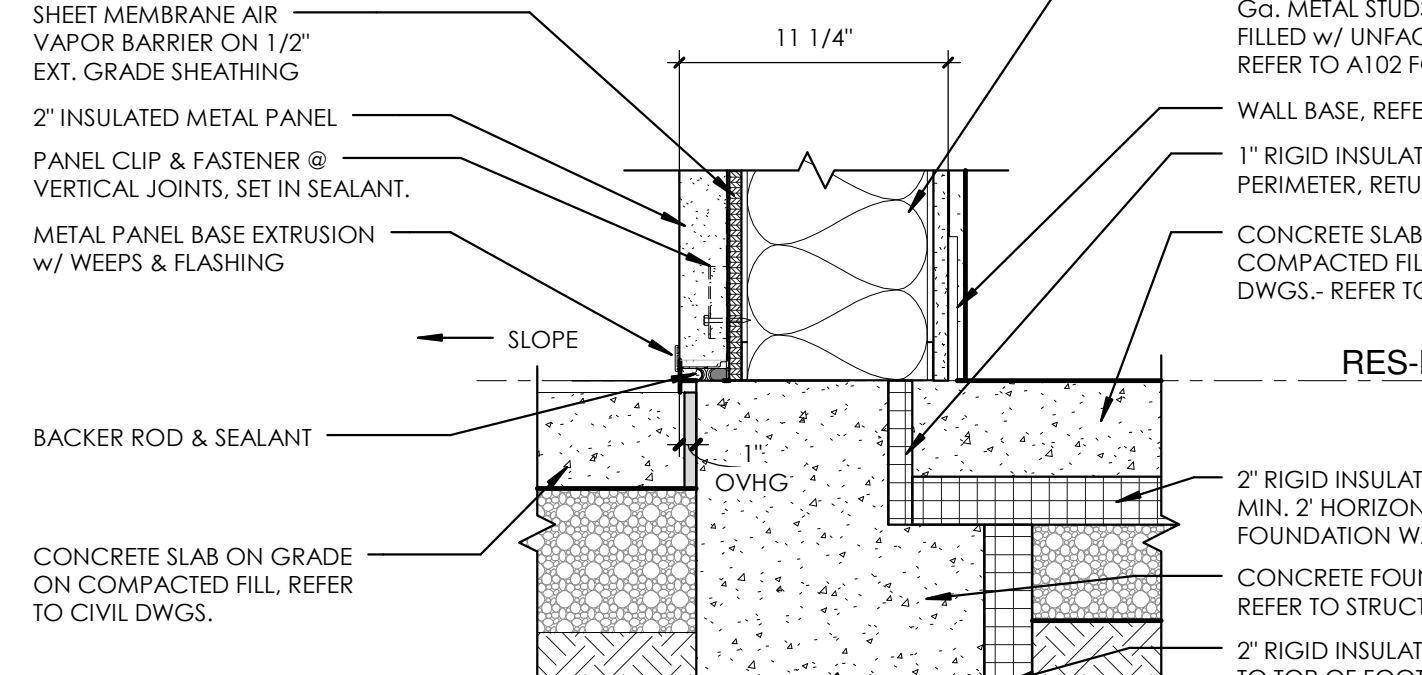
1 1/2" = 1'-0"


5 WINDOW SILL DETAIL @ BRICK

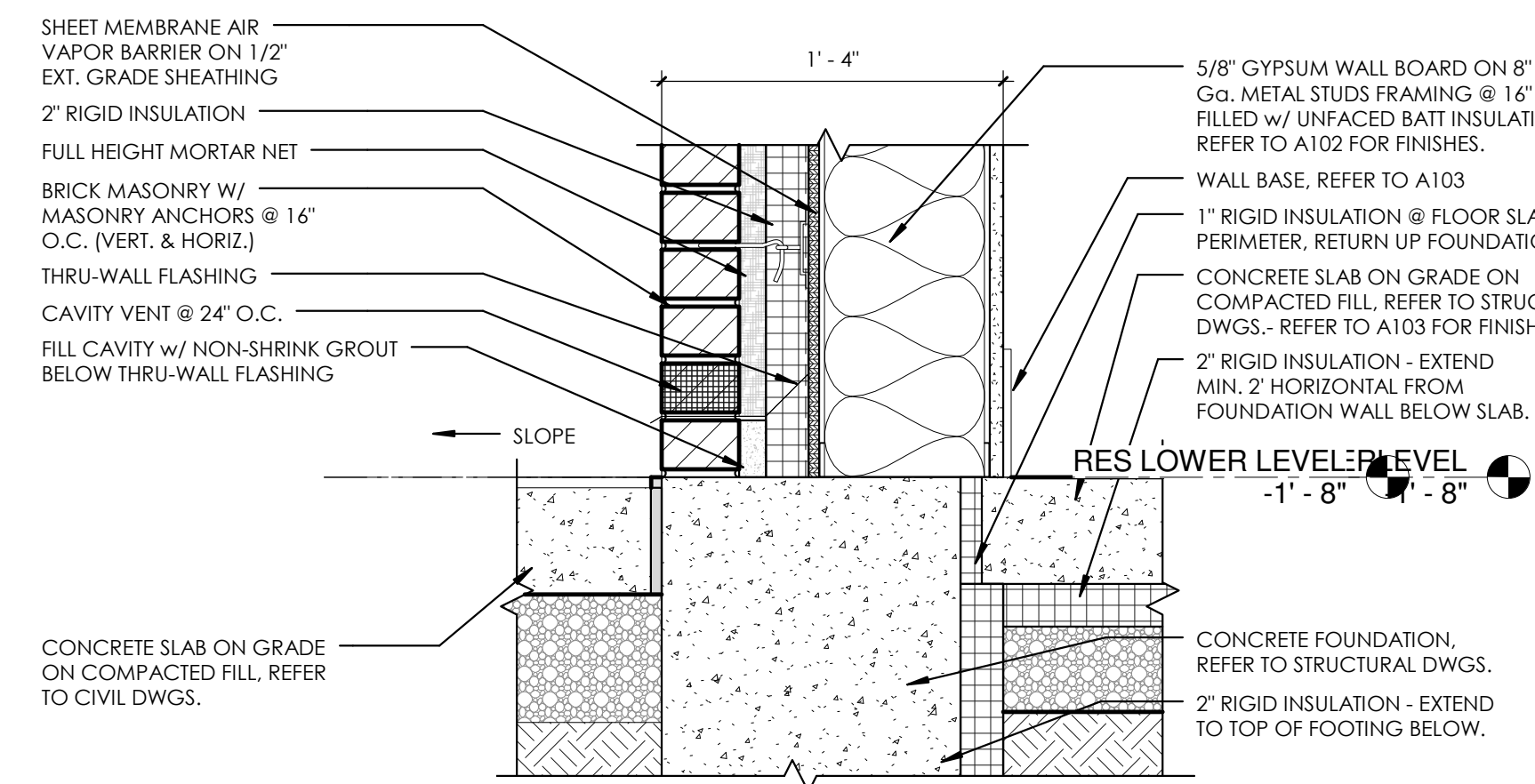
1 1/2" = 1'-0"


3 WINDOW JAMB DETAIL

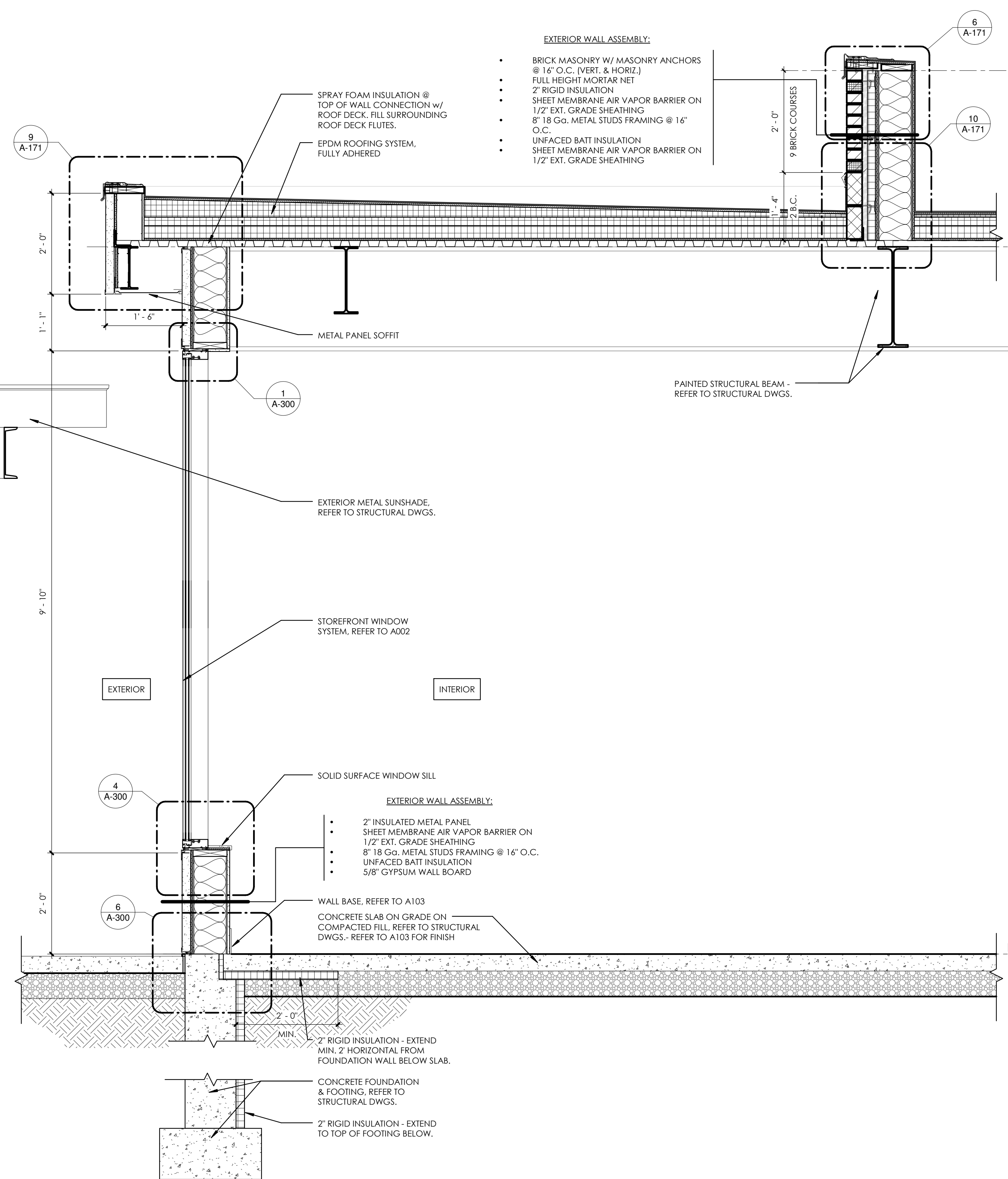
1 1/2" = 1'-0"


6 METAL PANEL WALL SILL DETAIL

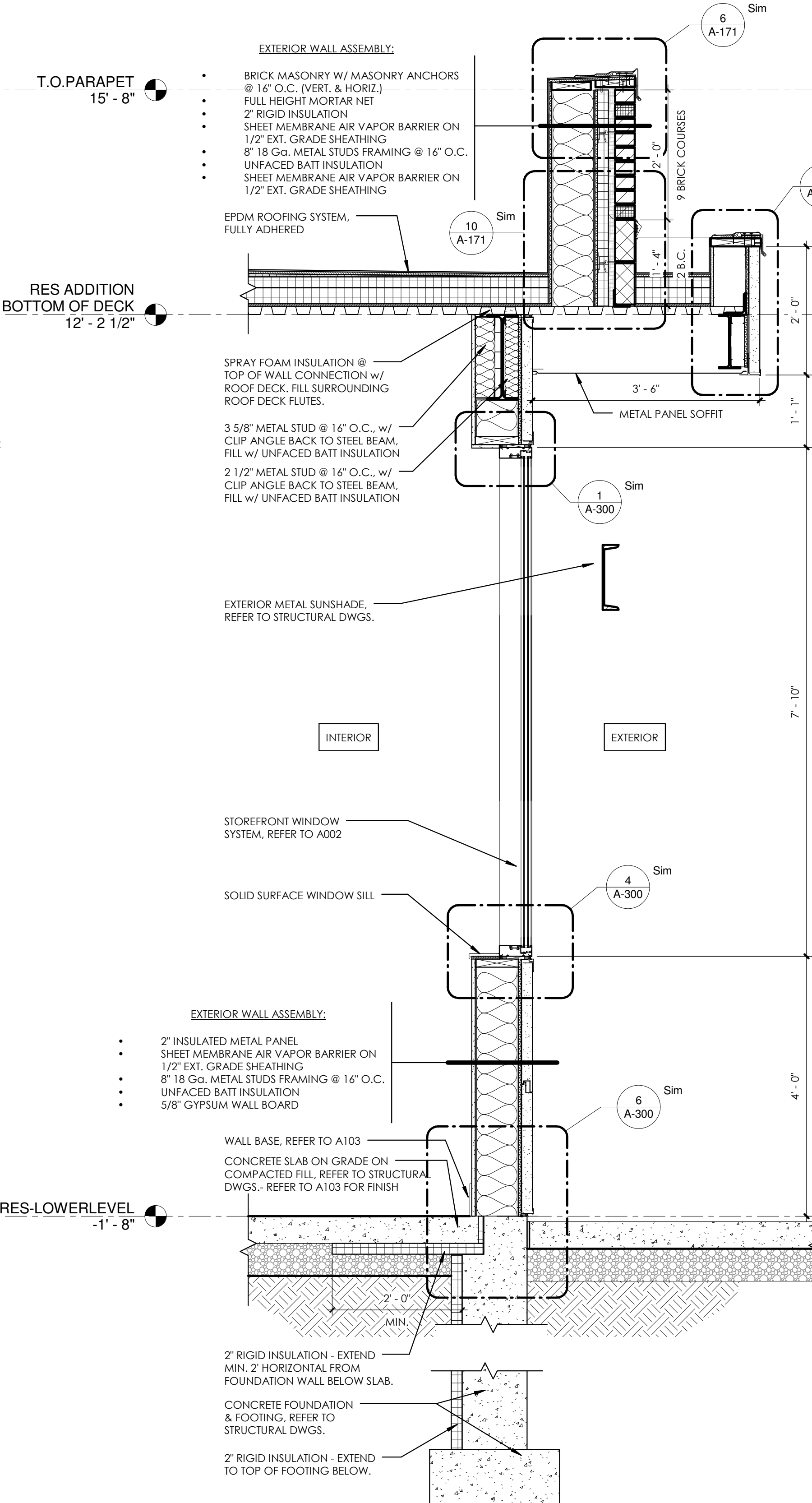
1 1/2" = 1'-0"


7 BRICK WALL BASE DETAIL

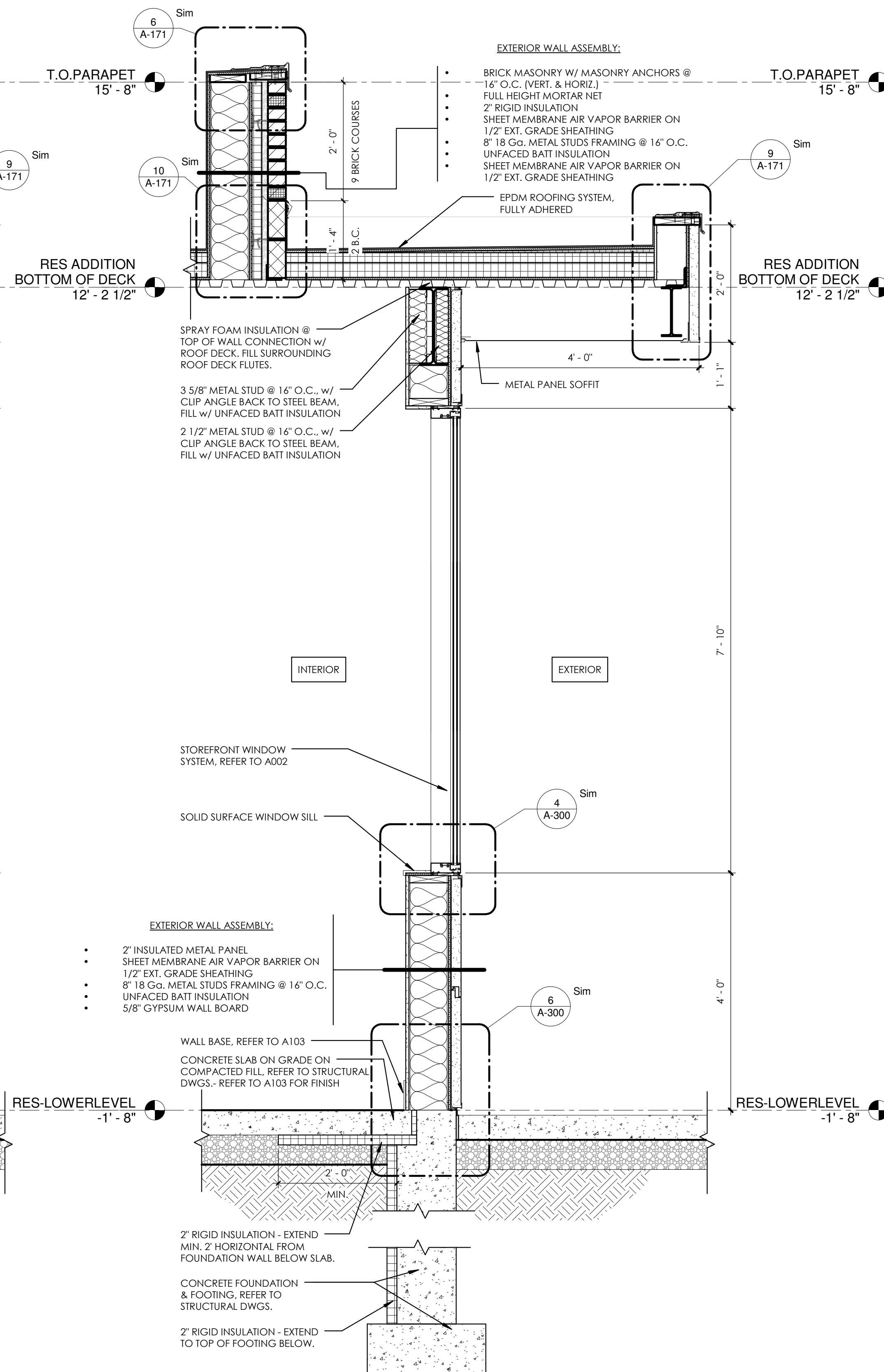
1 1/2" = 1'-0"


8 RESIDENTIAL SEATING @ WINDOW 1

3/4" = 1'-0"


9 RESIDENTIAL SEATING @ WINDOW 2

3/4" = 1'-0"


10 RESIDENTIAL SEATING @ WINDOW 3

3/4" = 1'-0"

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RCNJ No. 2014-37-01-C PHASE 2: ALTERATIONS & ADDITIONS

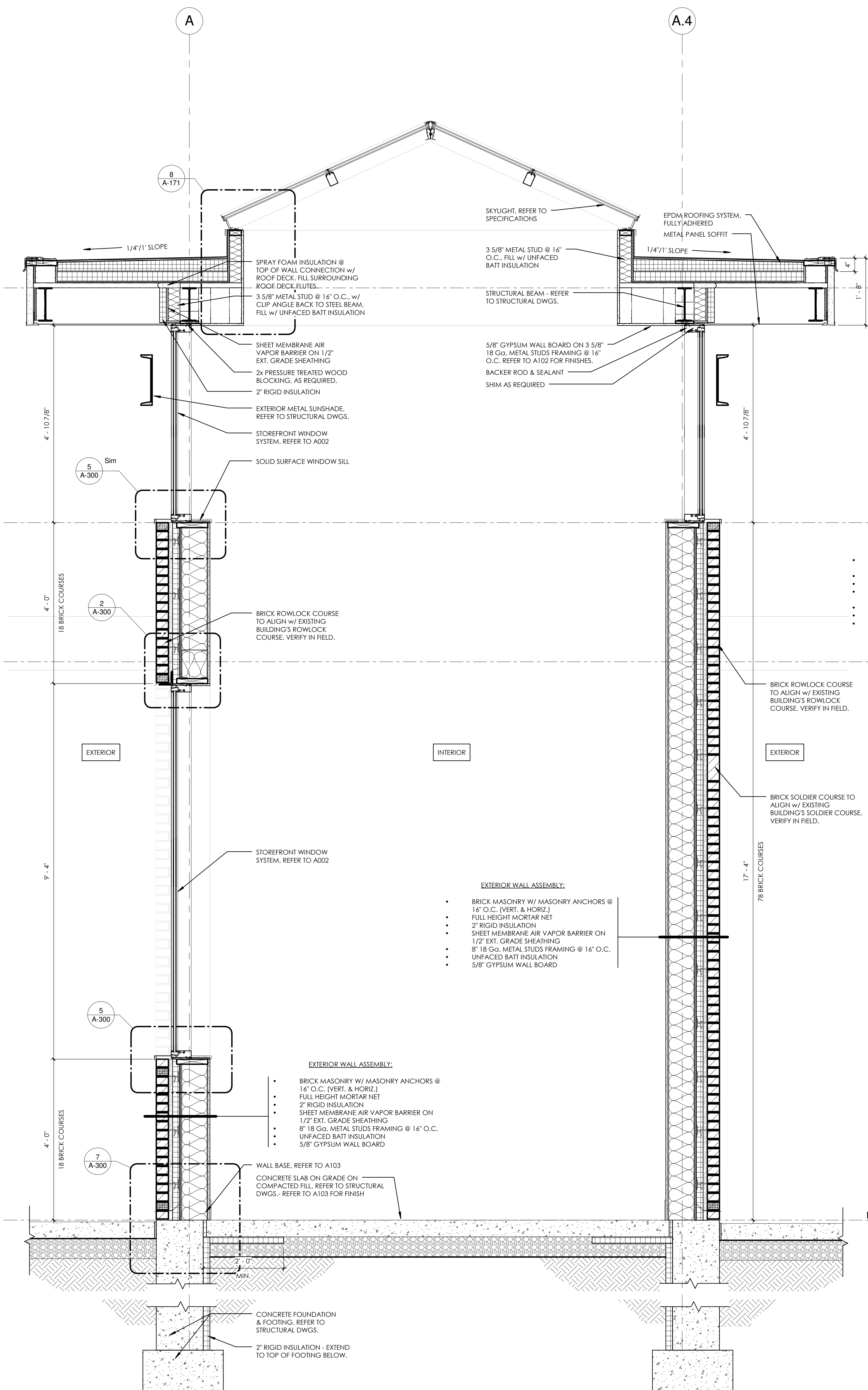


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DESCRIPTION:
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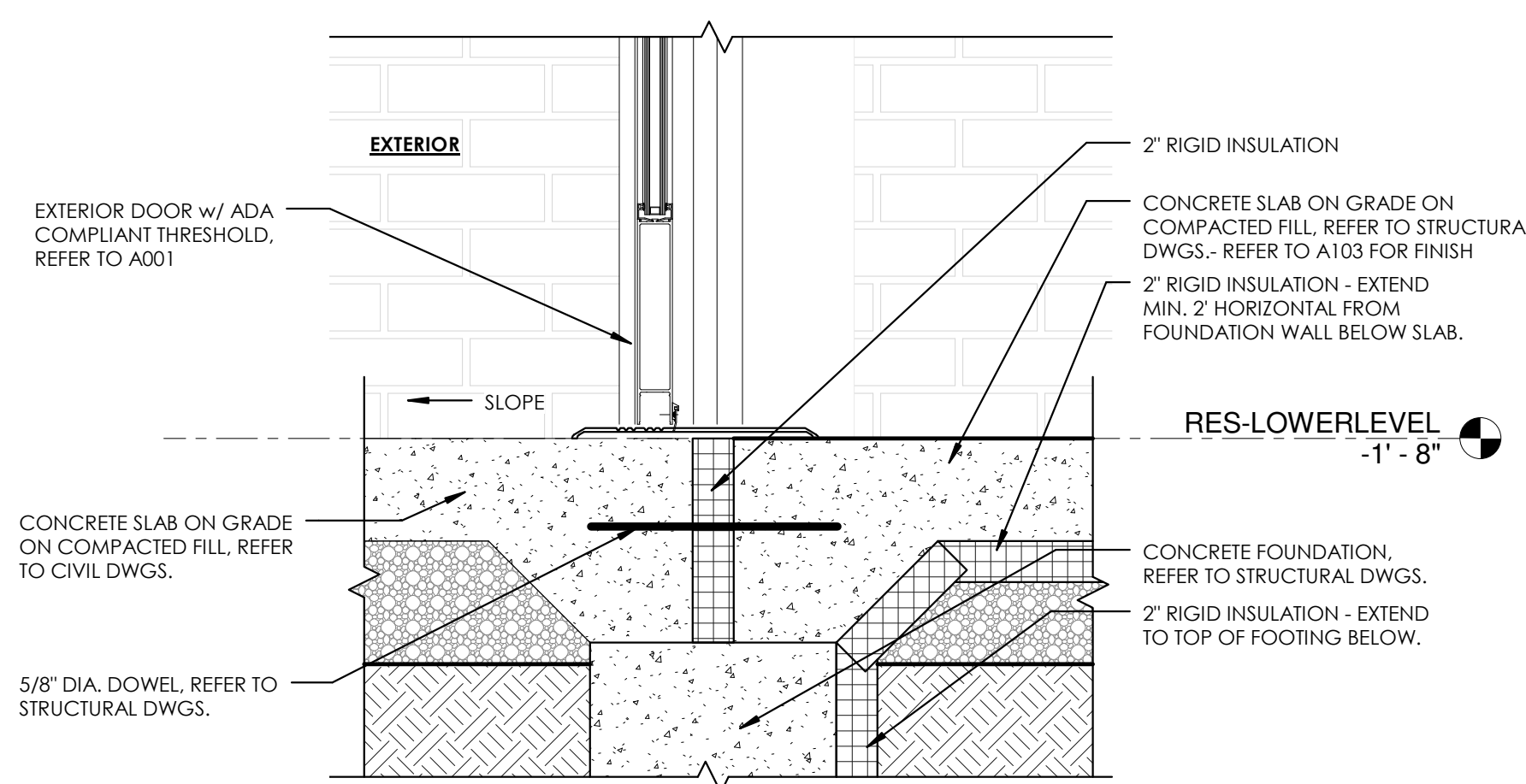
SHEET:

A-300



1 TOWER SECTION

3/4" = 1'-0"



2 THRESHOLD DETAIL

1 1/2" = 1'-0"

T.O. PARAPET
15' - 8"

- EXTERIOR WALL ASSEMBLY:
- BRICK MASONRY W/ MASONRY ANCHORS @ 16" O.C. (VERT. & HORIZ.)
 - FULL HEIGHT MORTAR NET
 - 2" RIGID INSULATION
 - SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING
 - 8" 18 Gg. METAL STUDS FRAMING @ 16" O.C.
 - UNFACED BATT INSULATION
 - SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

RES ADDITION
BOTTOM OF DECK
12' - 2 1/2"

T.O. PARAPET
15' - 8"

EXTERIOR WALL ASSEMBLY:

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- FULL HEIGHT MORTAR NET
- 2" RIGID INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING
- 8" 18 Gg. METAL STUDS FRAMING @ 16" O.C.
- UNFACED BATT INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

RES ADDITION
BOTTOM OF DECK
12' - 2 1/2"

T.O. PARAPET
15' - 8"

EXTERIOR WALL ASSEMBLY:

- BRICK MASONRY W/ MASONRY ANCHORS @ 16" O.C. (VERT. & HORIZ.)
- FULL HEIGHT MORTAR NET
- 2" RIGID INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING
- 8" 18 Gg. METAL STUDS FRAMING @ 16" O.C.
- UNFACED BATT INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

RES ADDITION
BOTTOM OF DECK
12' - 2 1/2"

T.O. PARAPET
15' - 8"

EXTERIOR WALL ASSEMBLY:

- BRICK MASONRY W/ MASONRY ANCHORS @ 16" O.C. (VERT. & HORIZ.)
- FULL HEIGHT MORTAR NET
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- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

RES ADDITION
BOTTOM OF DECK
12' - 2 1/2"

T.O. PARAPET
15' - 8"

EXTERIOR WALL ASSEMBLY:

- BRICK MASONRY W/ MASONRY ANCHORS @ 16" O.C. (VERT. & HORIZ.)
- FULL HEIGHT MORTAR NET
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- UNFACED BATT INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

RES ADDITION
BOTTOM OF DECK
12' - 2 1/2"

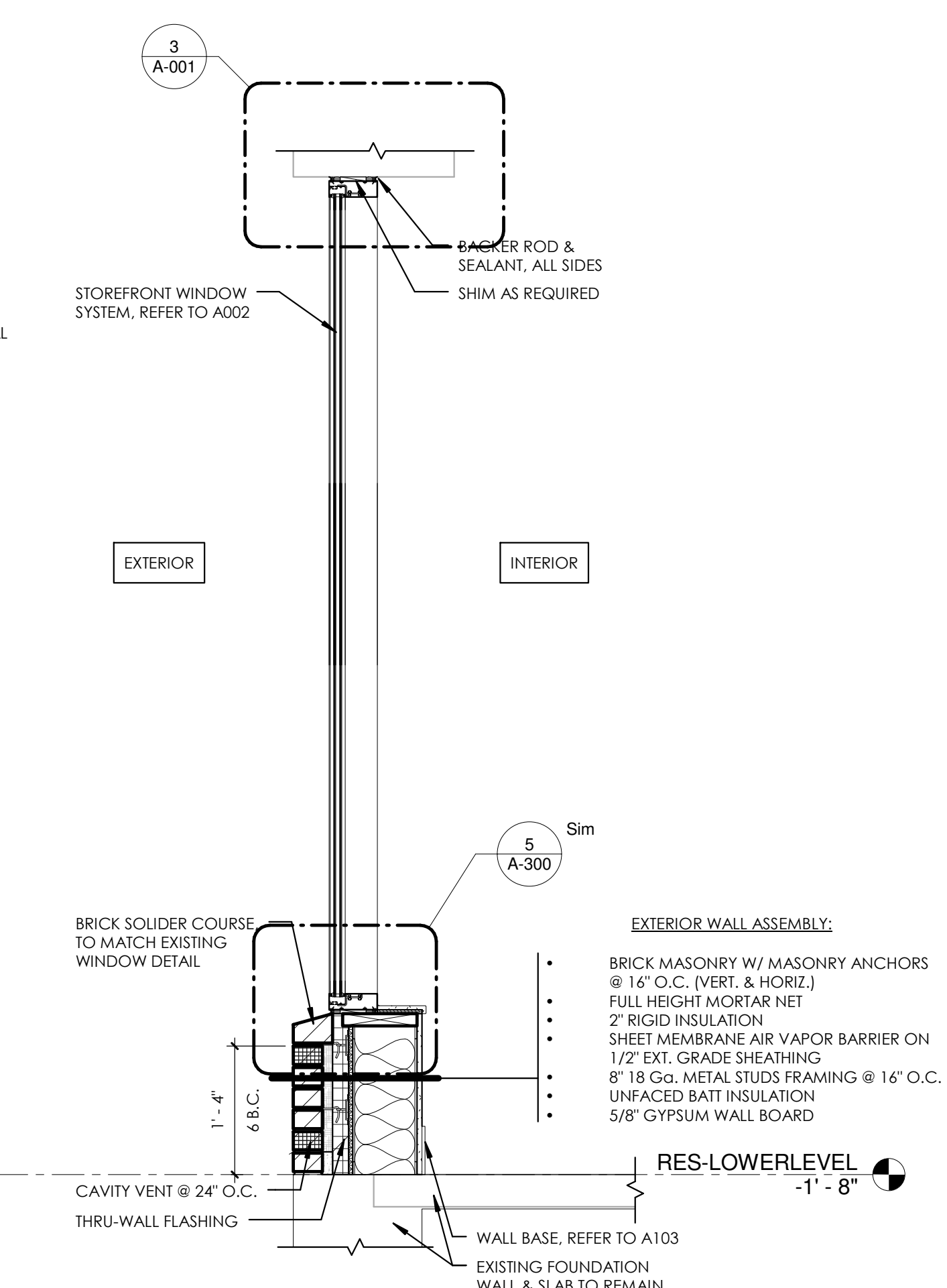
T.O. PARAPET
15' - 8"

EXTERIOR WALL ASSEMBLY:

- BRICK MASONRY W/ MASONRY ANCHORS @ 16" O.C. (VERT. & HORIZ.)
- FULL HEIGHT MORTAR NET
- 2" RIGID INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING
- 8" 18 Gg. METAL STUDS FRAMING @ 16" O.C.
- UNFACED BATT INSULATION
- SHEET MEMBRANE AIR VAPOR BARRIER ON 1/2" EXT. GRADE SHEATHING

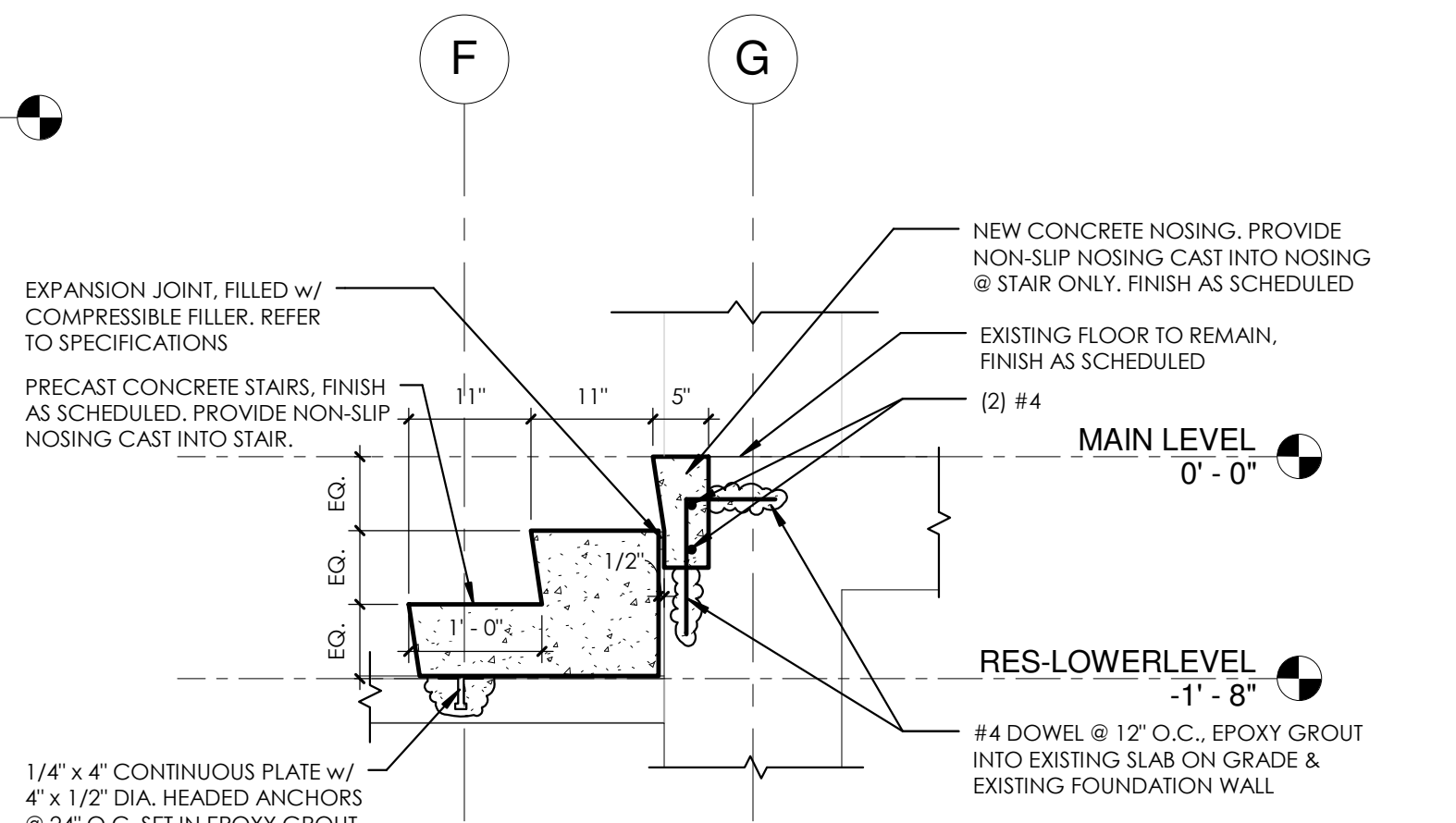
4 WALL SECTION @ DOOR 105

3/4" = 1'-0"



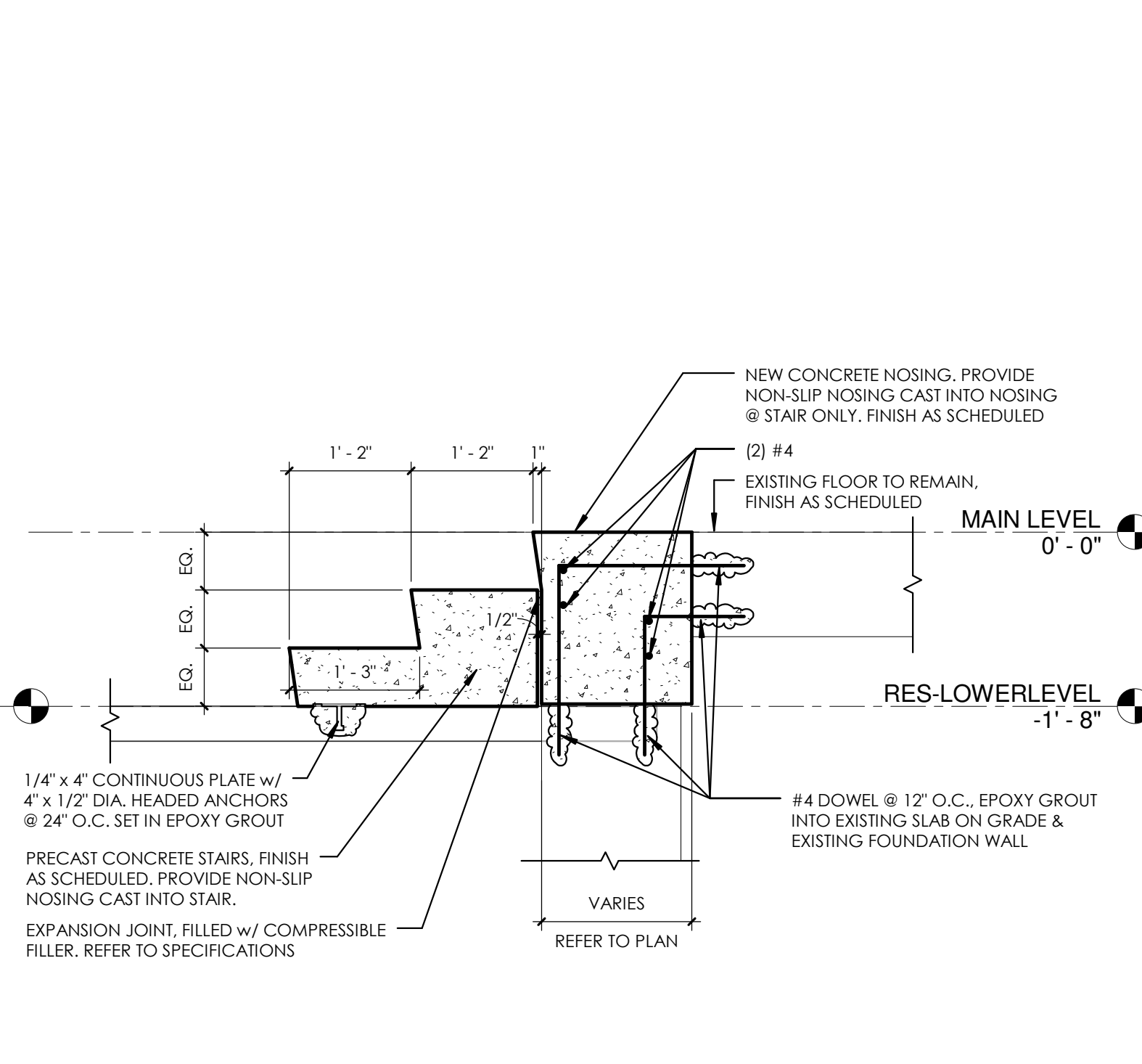
3 LOWER LOUNGE WINDOW REPLACEMENT

3/4" = 1'-0"



5 NEW STAIR SECTION

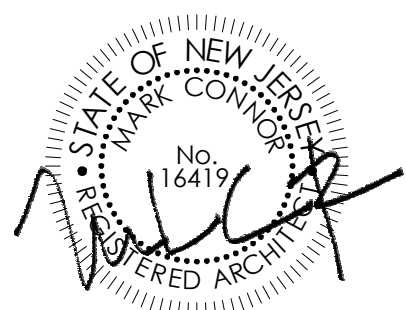
3/4" = 1'-0"



6 NEW STAIR SECTION @ NEW FLOOR INFILL

3/4" = 1'-0"

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REVISIONS

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CHECKED BY: JNC

WALL SECTIONS

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RESIDENTIAL DINING
505 RAMAPO VALLEY RD.
MAHWAH, NJ 07430

RCU No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS



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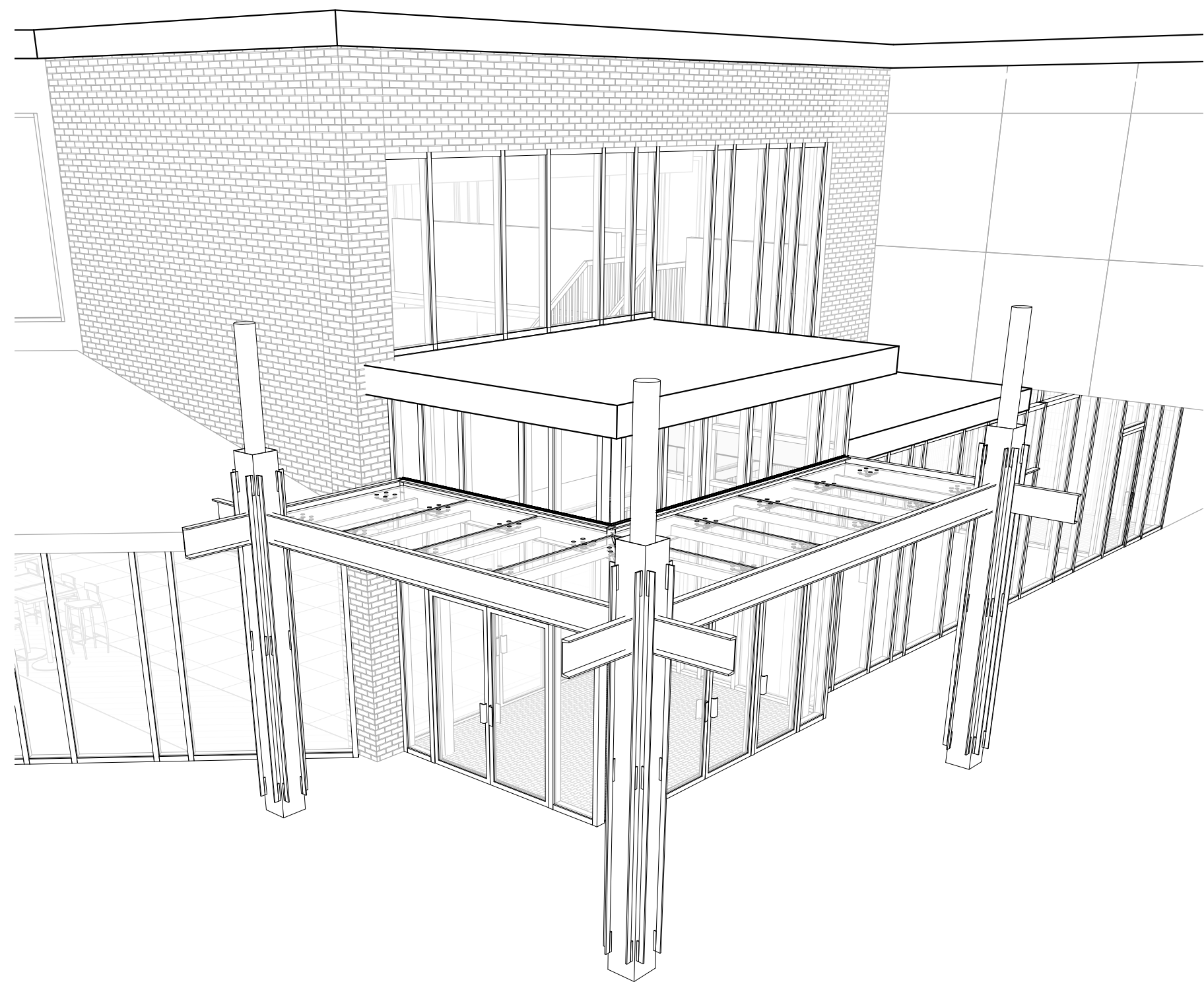
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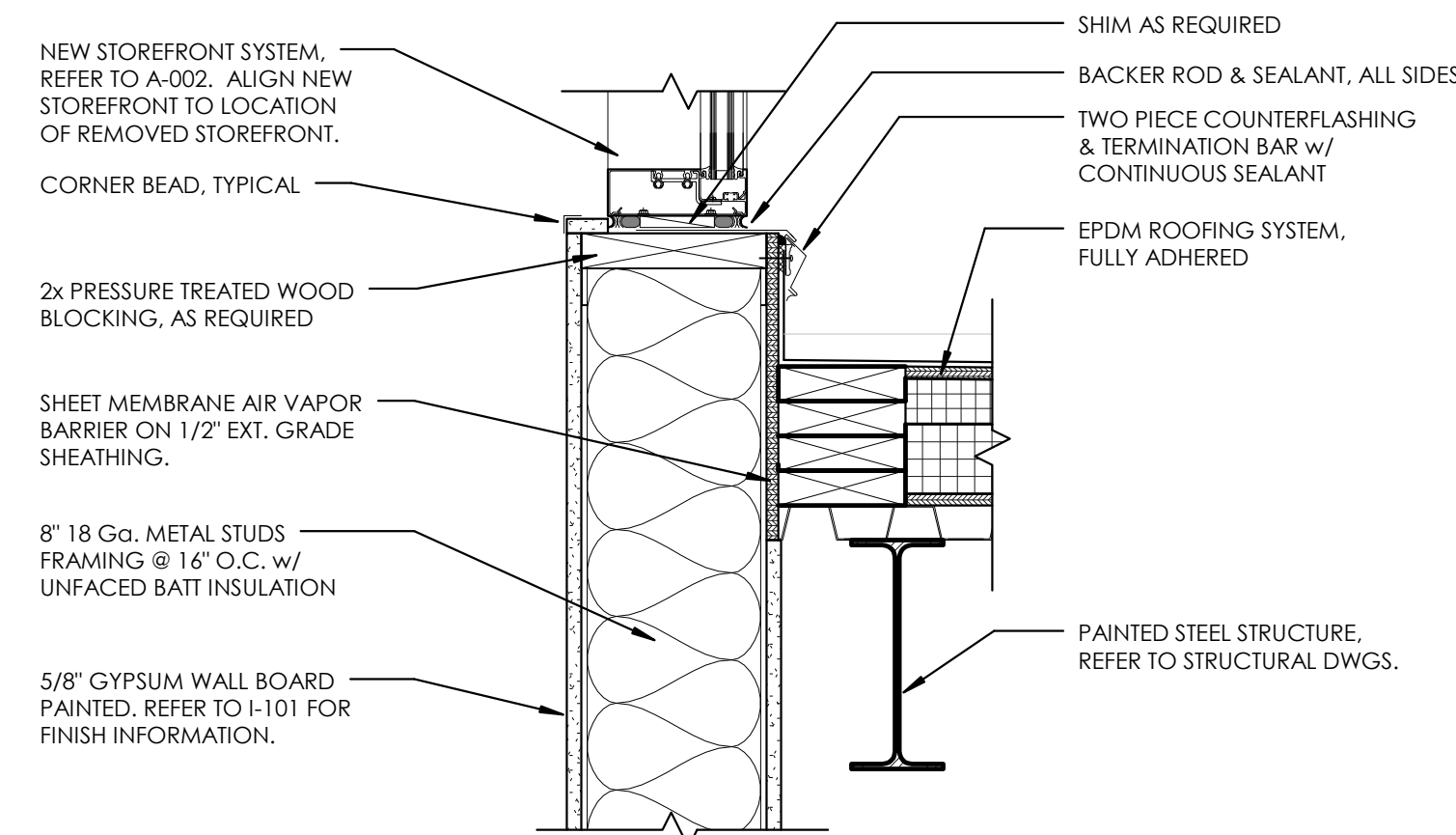
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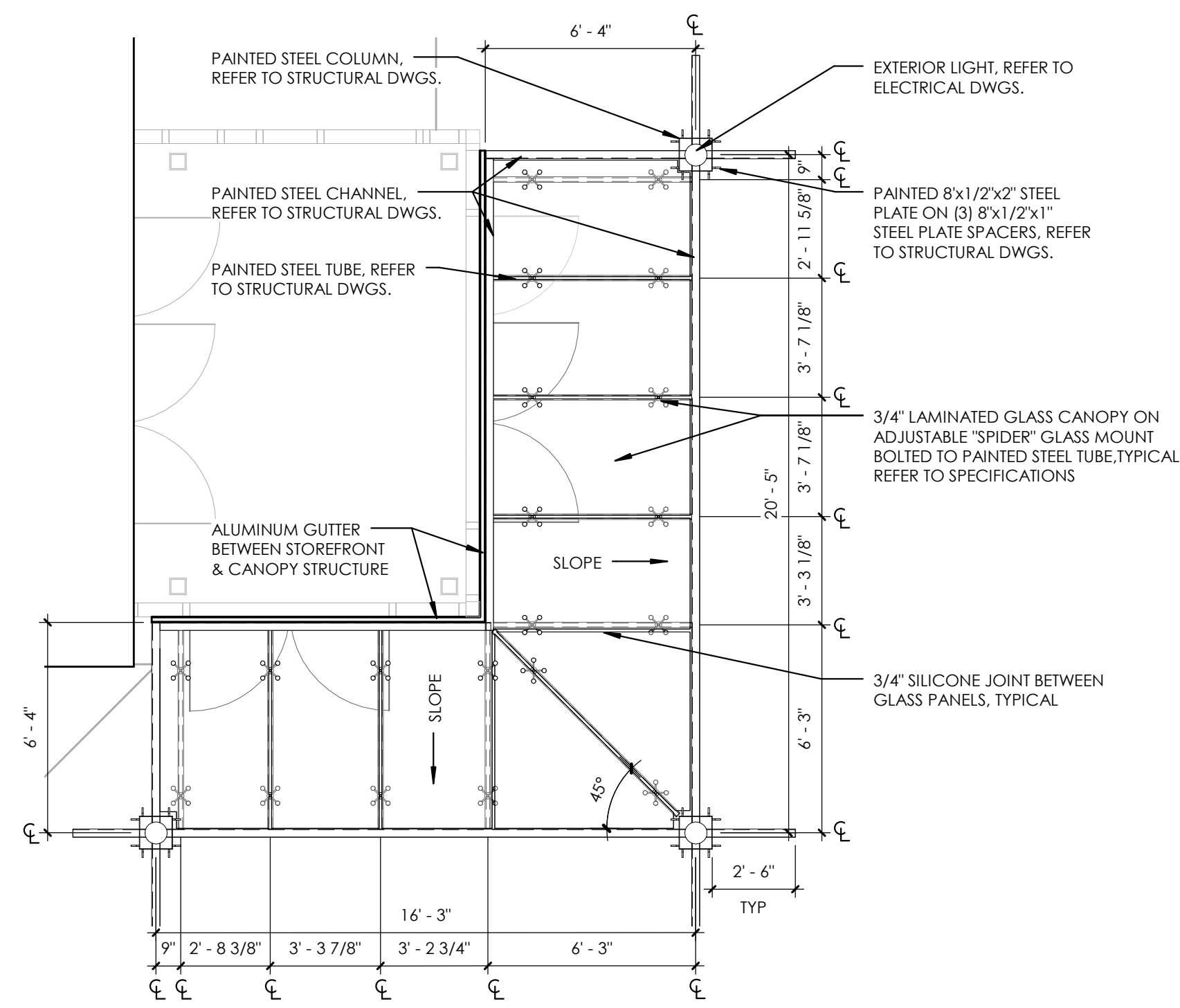
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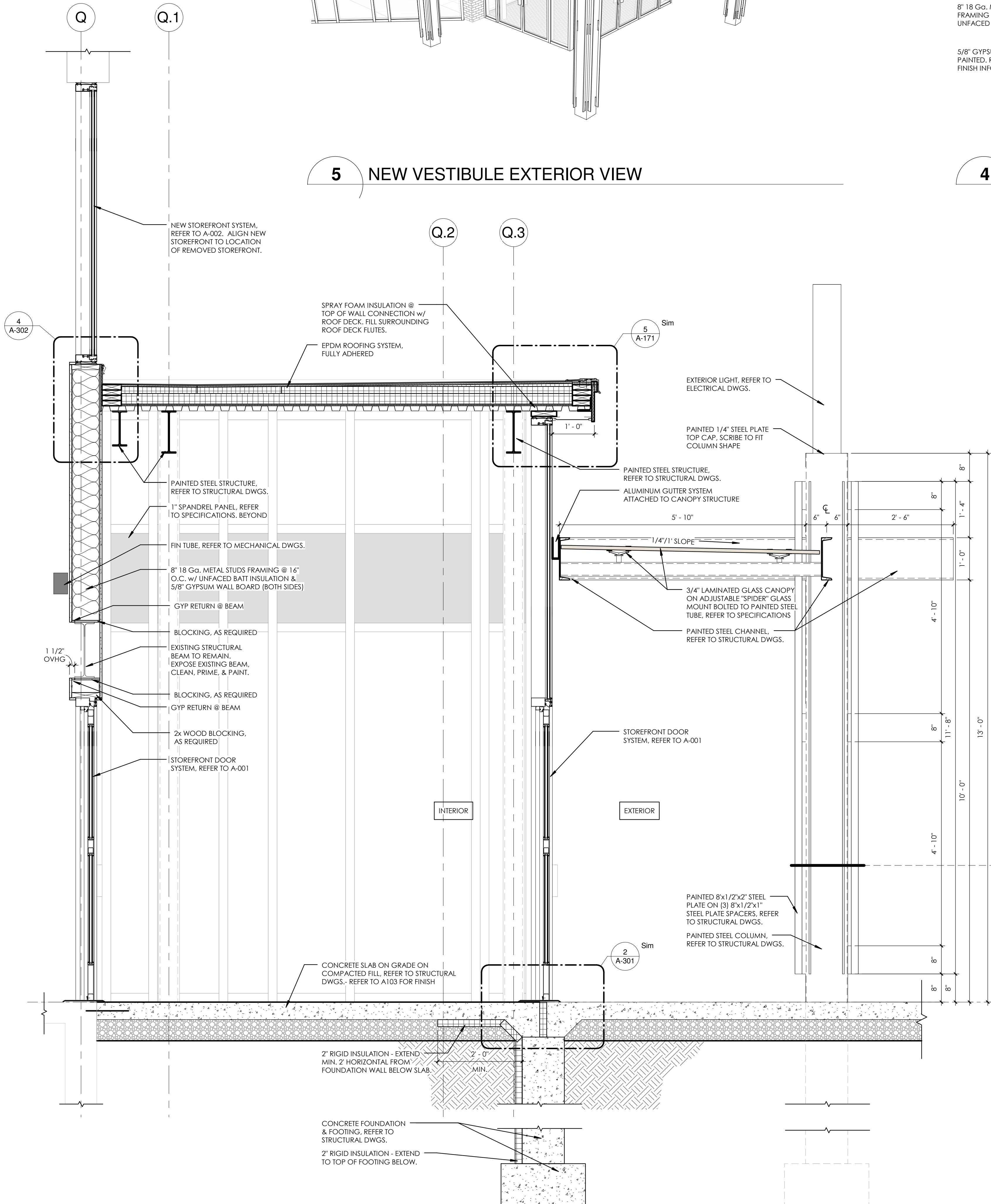
5 NEW VESTIBULE EXTERIOR VIEW



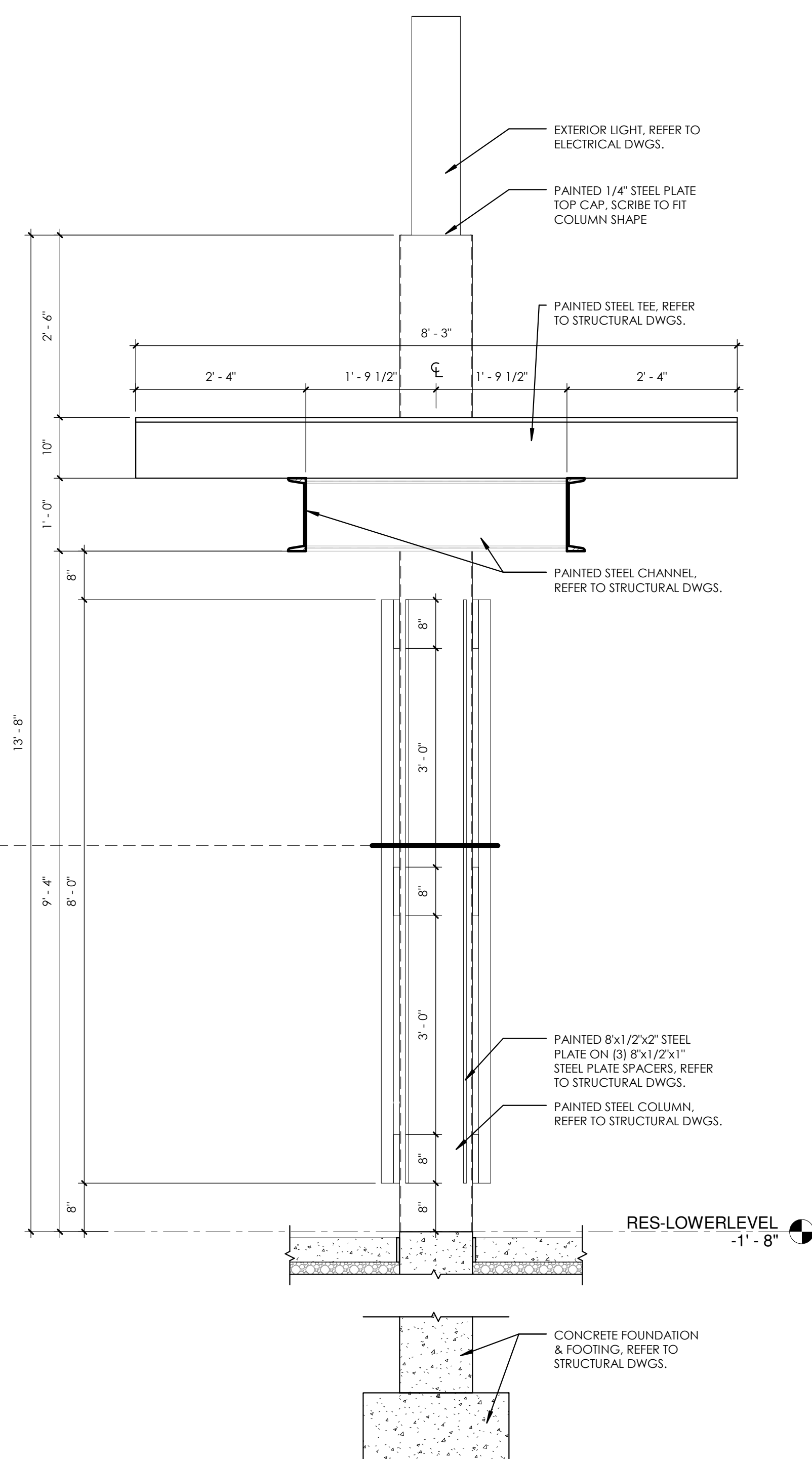
4 FLASHING DETAIL



3 GLASS CANOPY DIMENSION PLAN



1 NEW VESTIBULE SECTION



2 SUN SHADE COLUMN DETAIL

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REVISIONS

DRAWN BY: JNC
CHECKED BY: JNC

WALL SECTIONS

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505 RAMAPO VALLEY RD.
MAHWAH, NJ 07430

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OF NEW JERSEY**

RCU No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS



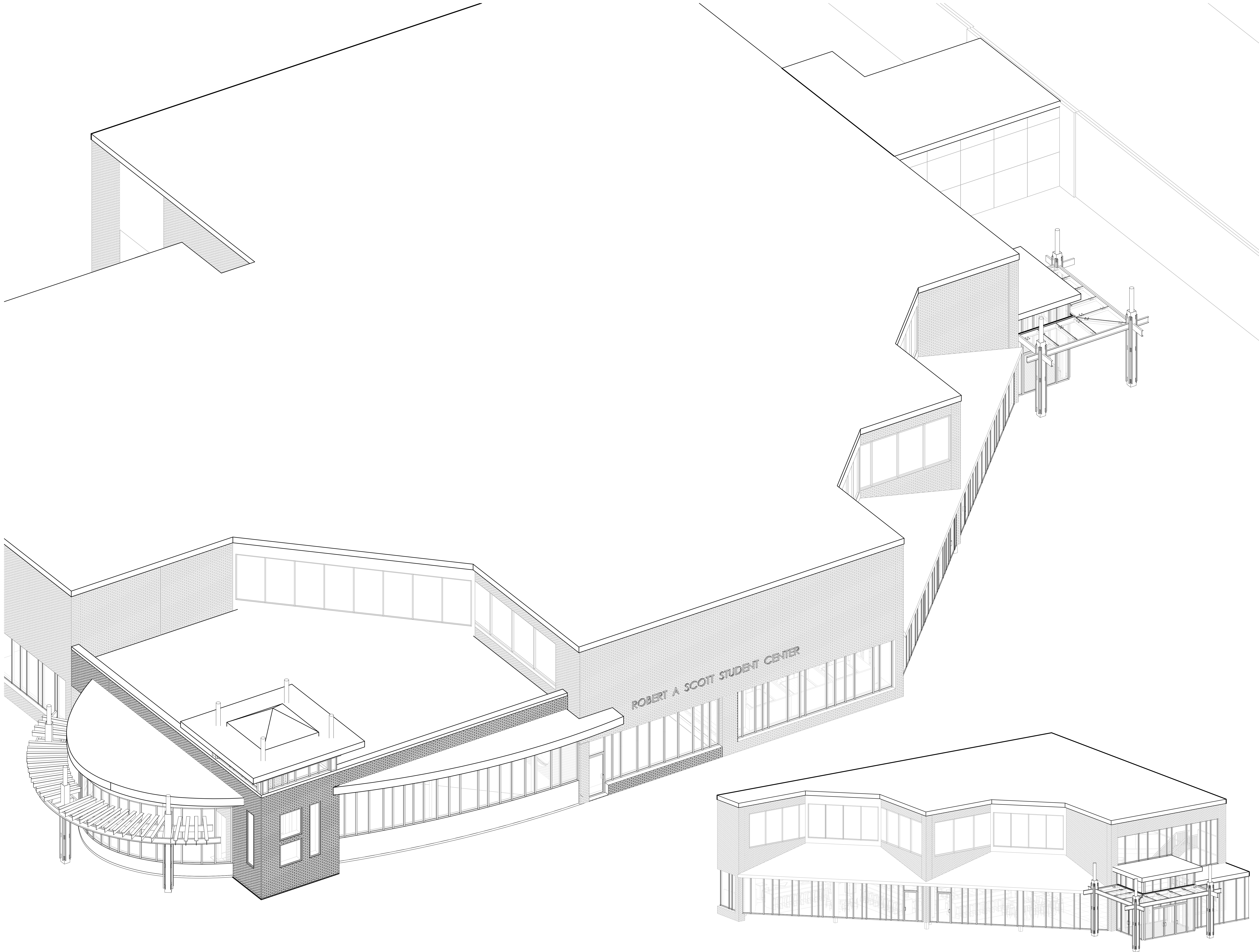
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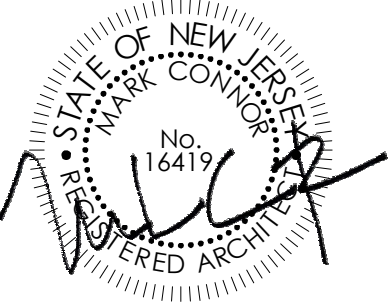
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3/23/2016 6:19:19 PM



NJDCA ELECTRONIC SUBMITTAL STAMP:

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REVISIONS

DRAWN BY: AGK
CHECKED BY: AGK

3 DIMENSIONAL EXTERIOR VIEWS

SCOTT STUDENT CENTER
RESIDENTIAL DINING
RAMAPO COLLEGE
OF NEW JERSEY

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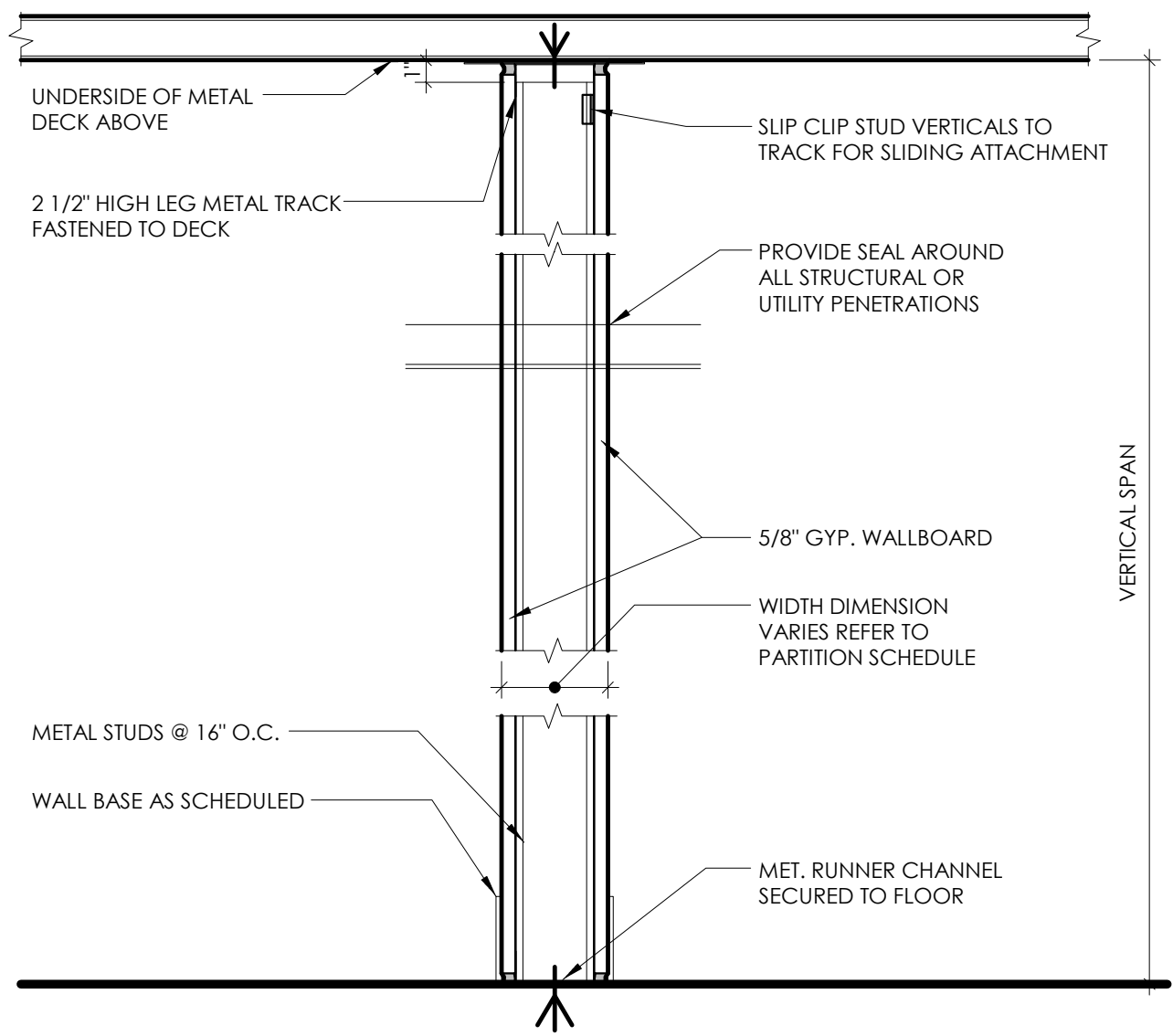


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03.24.2016

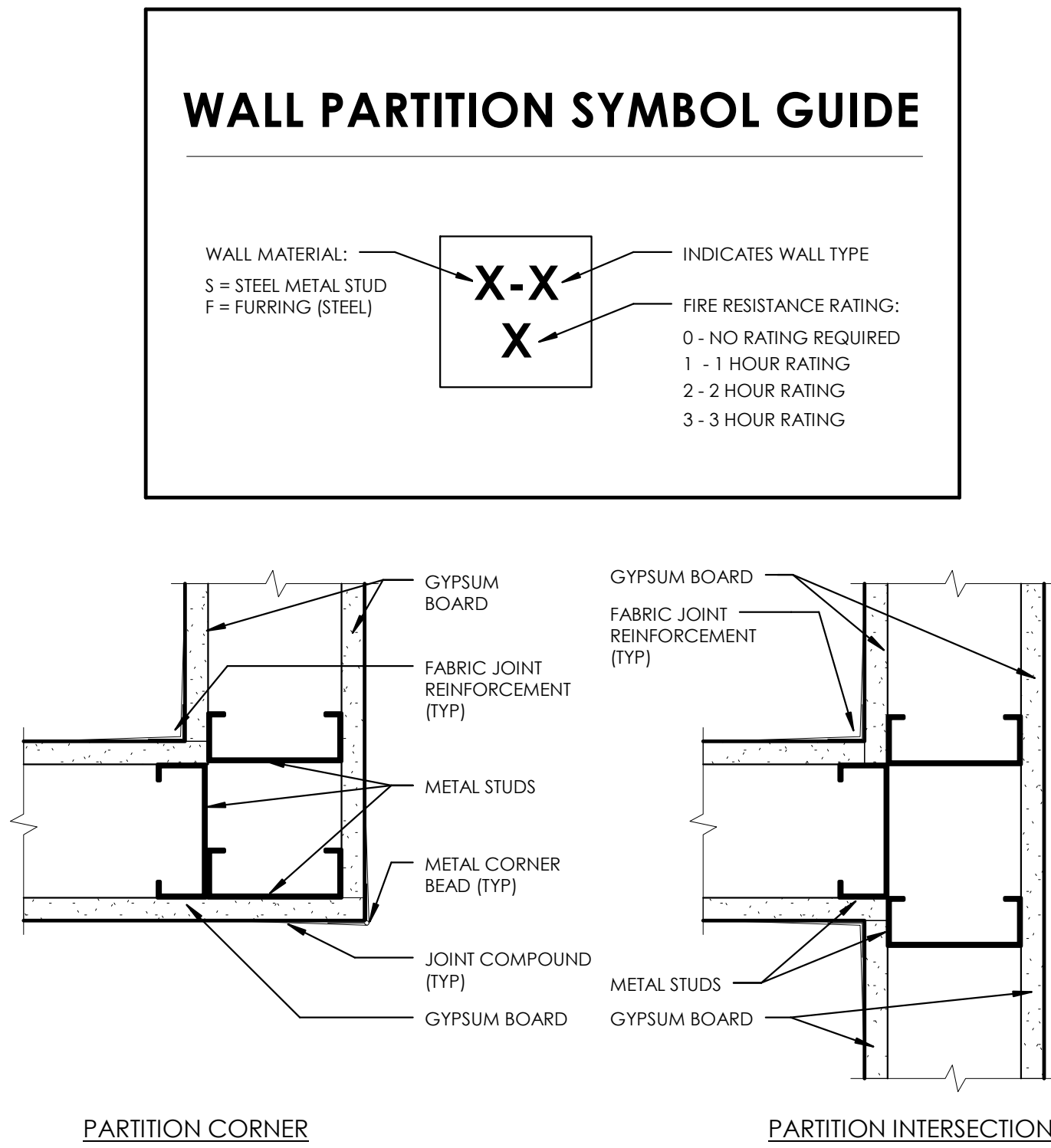
DESCRIPTION:
BID DOCUMENTS

SHEET:

A-800



1 GYP. WALLBOARD ON MET. STUDS, FULL HEIGHT
1 1/2" = 1'-0"



2 TYPICAL METAL WALL STUD PLAN DETAILS
3" = 1'-0"

WALL PARTITION LEGEND			
TYPE	WALL DESIGNATIONS	SECTION	BASIC COMPONENTS
S-2.1 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">1 LAYER OF 5/8" GYPSUM WALL BOARD2-1/2" STEEL STUDS WITH RUNNER CHANNELS AT 16" O.C.
	FIRE RATING	0	
	STC RATING	N/A	
S-3 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">1 LAYER OF 5/8" GYPSUM WALL BOARD3-5/8" STEEL STUDS WITH RUNNER CHANNELS AT 16" O.C.1 LAYER OF 5/8" GYPSUM WALL BOARD
	FIRE RATING	0	
	STC RATING	38-40	
S-3.1 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">1 LAYER OF 5/8" GYPSUM WALL BOARD3-5/8" STEEL STUDS WITH RUNNER CHANNELS AT 16" O.C.
	FIRE RATING	0	
	STC RATING	N/A	
S-3B 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">WALL TILE1 LAYER OF 1/2" CEMENT BOARD3-5/8" STEEL STUDS WITH RUNNER CHANNELS AT 16" O.C.1 LAYER OF 1/2" CEMENT BOARDWALL TILE
	FIRE RATING	0	
	STC RATING	N/A	
S-3.1B 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">WALL TILE1 LAYER OF 1/2" CEMENT BOARD3-5/8" STEEL STUDS WITH RUNNER CHANNELS AT 16" O.C.
	FIRE RATING	0	
	STC RATING	N/A	
WT-1 0	FIRE TEST DESIGN NO.	N/A	<ul style="list-style-type: none">WALL TILE1 LAYER OF 1/2" CEMENT BOARD
	FIRE RATING	0	
	STC RATING	N/A	

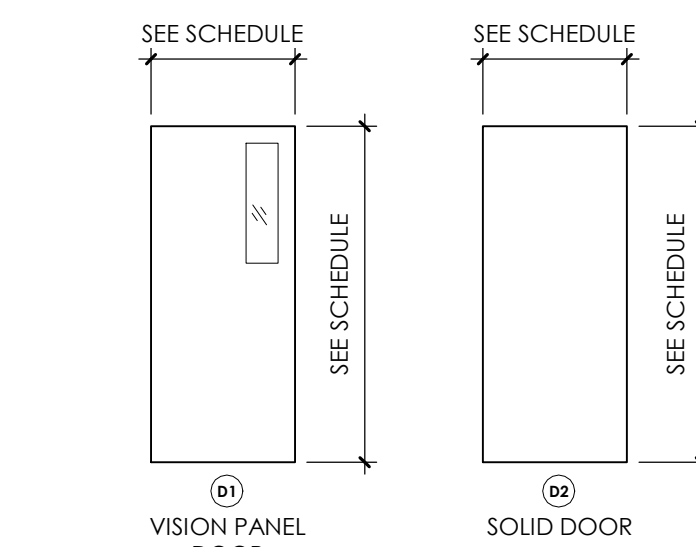
GLAZING KEY

INTERIOR GLASS

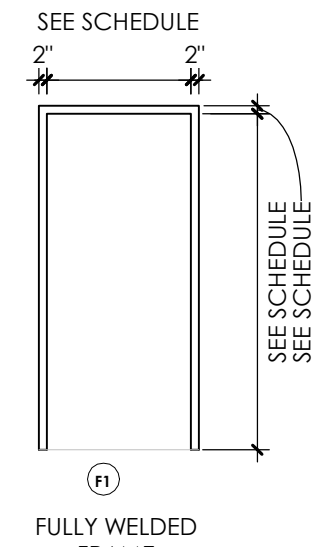
FINISH KEY

GL-1 1/4" THICK TEMPERED CLEAR GLAZING

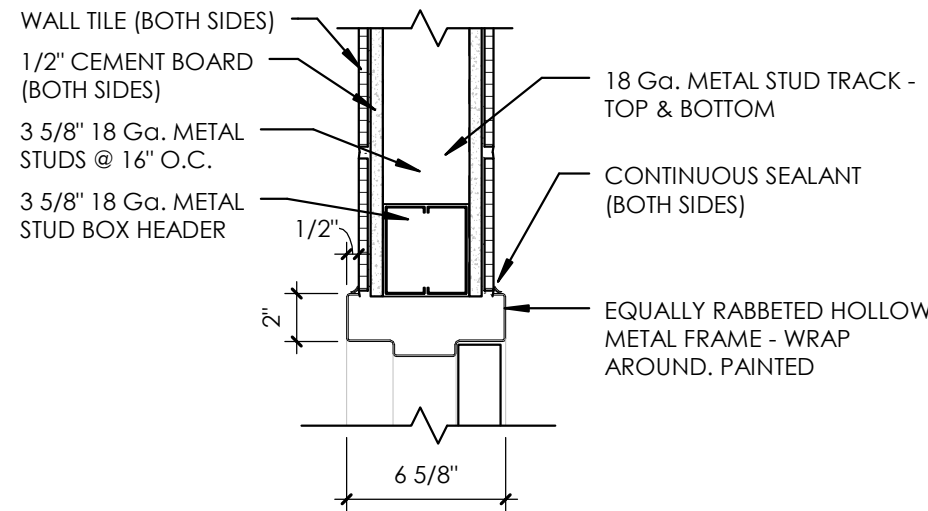
HM I-OP-MD-DT HOLLOW METAL, FIELD PAINTED, MEDIUM DUTY, DOOR/TRIM SEMI GLOSS, COLOR OT BE SELECTED



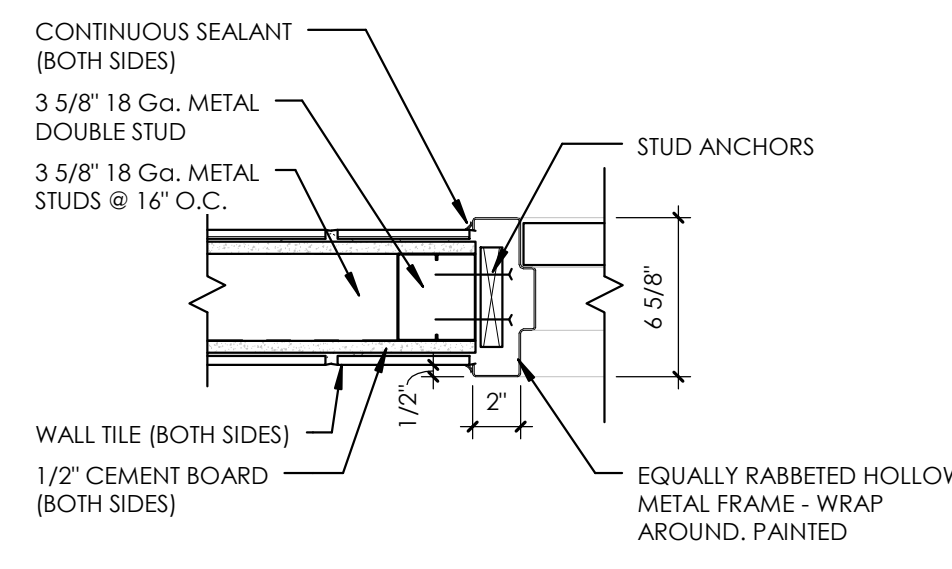
3 DOOR TYPES - ELEVATION
1/4" = 1'-0"



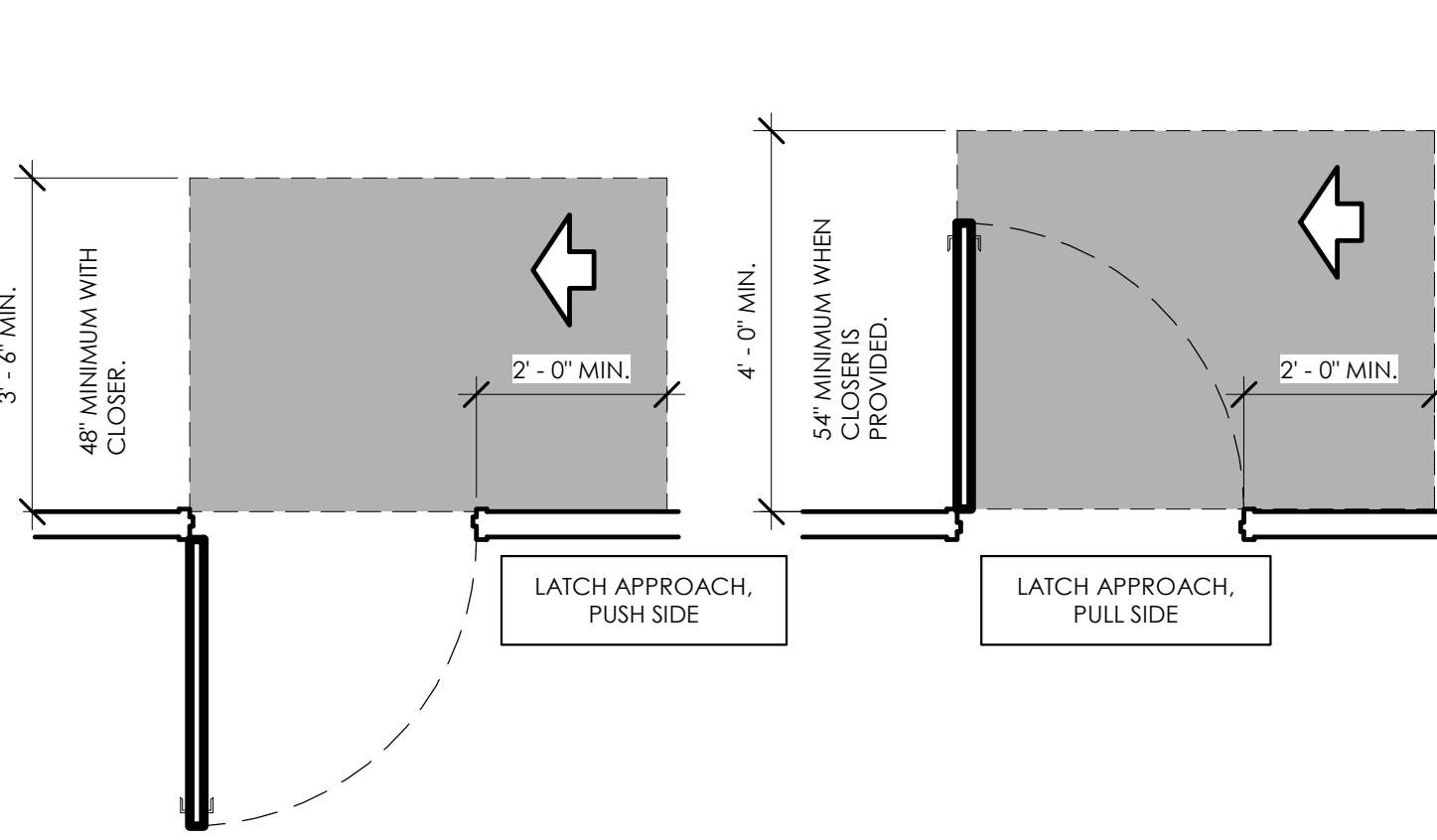
4 DOOR FRAME TYPES - ELEVATION
1/4" = 1'-0"



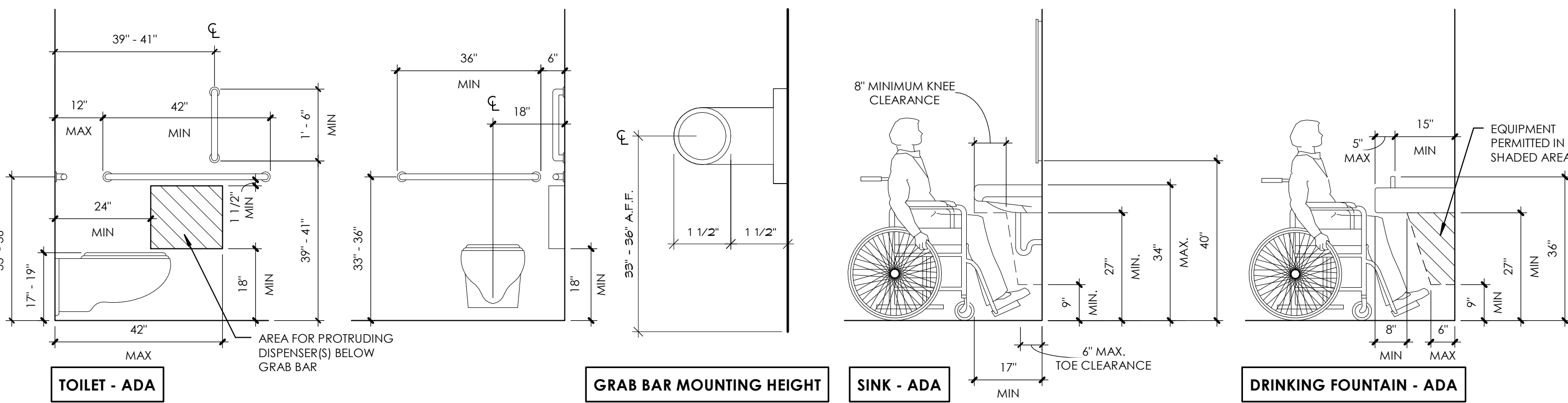
5 TYPICAL DOOR HEAD DETAIL
1 1/2" = 1'-0"



6 TYPICAL DOOR JAMB DETAIL
1 1/2" = 1'-0"

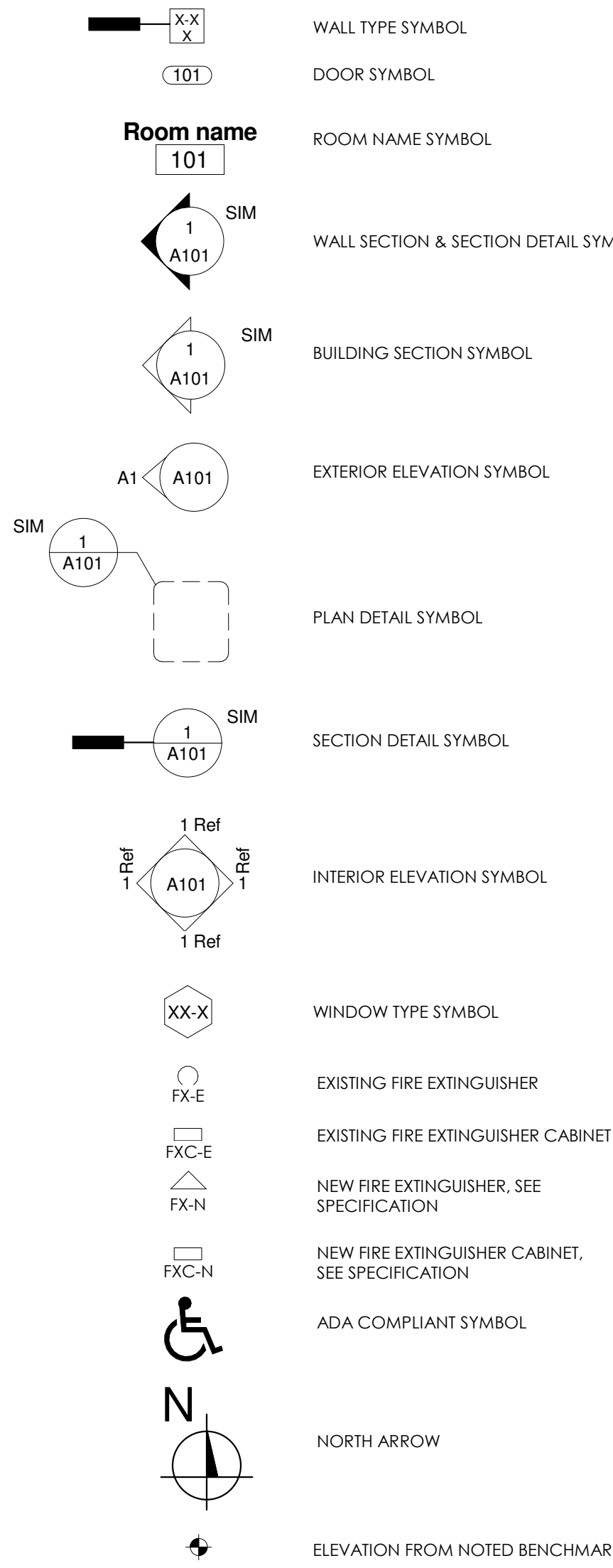


7 ADA - COMPLIANT DOOR CLEARANCES
1/2" = 1'-0"



8 ADA - TOILET STANDARDS
N.T.S.

SYMBOLS LEGEND



ARCHITECTURAL ABBREVIATIONS

A & @ ACT ALT ALUM AVG AFF	AND AT ACOUSTICAL CEILING TILE ALTERNATE ALUMINUM AVERAGE ABOVE FINISH FLOOR	J JAN LAV	JANITOR LAVATORY
B BD BLDG BOD BSMT	BOARD BUILDING BOTTOM OF DECK BASEMENT	M MFR MAT MAX MIN MO MTL	MECHANICAL, ELECTRICAL, AND PLUMBING MANUFACTURER MATERIAL MAXIMUM MINIMUM MASSCHERY OPENING METAL
C CBU CG CJ CLG CL CLR CMU COL CONC CONT CPT CRS	CEMENTITIOUS BACKER UNIT CORNER GUARDS CONTROL JOINT CEILING CENTER LINE CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CARPET COURSE(S)	N NA NC NR NTS	NOT APPLICABLE NOT IN CONTRACT NOT RATED NOT TO SCALE
D DEM DF DIA DIM DN DWG	DEMOLITION DRINKING FOUNTAIN DIAMETER DIMENSION DOWN DRAWING	O OC OD OVHG	ON CENTER OUTSIDE DIAMETER OPENING OVERHANG
E EA EJ ELEC ELEV EPDM EQ EX EXT	EACH EXPANSION JOINT ELECTRIC ELEVATION/ ELEVATOR RUBBER ROOF MEMBRANE EQUAL EXISTING EXTERIOR	P T-1 PSF PSI PT PLAM	PLUS OR MINUS POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PLASTIC LAMINATE
F FD FDN FEC FT FTG	FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER CABINET FOOT/FEET FOOTING	R RD REF REQ REV RO	RISER ROOF DRAIN REFRIGERATOR REQUIRED REVISION ROUGH OPENING
G GA GALV GC GEN GL GWB	GAGE GALVANIZED GENERAL CONTRACTOR GENERAL GLASS GYPSUM WALL BOARD	S SIM SF SS STL	SIMILAR SQUARE FOOT/ FEET STAINLESS STEEL STEEL
H HC HT HM HR HVAC	HANDICAPPED HEIGHT HOLLOW METAL HOUR HEATING, VENTILATING & AC	I T TEMP TOS TV TYP	TREAD TEMPERATURE TOP OF STEEL TELEVISION TYPICAL
V VCT VIF VW	VINYL COMPOSITION TILE VERIFY IN FIELD WITHOUT	W WD	WOOD

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PROJECT INFORMATION

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505 RAMAPO VALLEY RD.
MAHWAH, NJ 07430

RCU No. 2014-37-01-C PHASE 2: ALTERATIONS & ADDITIONS



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03.24.2016

DESCRIPTION:
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SHEET:

I-001

INTERIOR ALTERATIONS

GENERAL NOTES

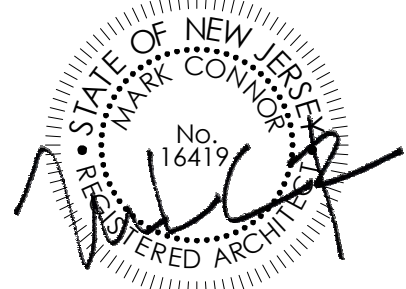
- A. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- B. ALL DIMENSIONS GIVEN ARE TO THE FACE OF CONCRETE MASONRY UNIT (CMU) OR TO FACE OF GYPSUM WALLBOARD/METAL STUD CONSTRUCTION, UNLESS NOTED OTHERWISE.
- C. FOR PARTITION ASSEMBLY TYPES REFER TO DRAWING A001.
- D. ALL DOORS ARE TO BE LOCATED 4" FROM WALL TO DOOR JAMB OPENING UNLESS OTHERWISE NOTED.
- E. CONTRACTOR IS RESPONSIBLE FOR BRACING/STABILIZING EXISTING WALLS AND STRUCTURE DURING CONSTRUCTION (SPECIFICALLY AT NEW DOOR LOCATIONS). ATTACH FRAME WITH "TAPCON" FASTENERS.
- F. PATCH ALL OPENINGS IN REMAINING WALLS WHERE MECHANICAL OR PLUMBING EQUIPMENT HAS BEEN REMOVED. INFILL WITH LIKE MATERIAL, BLEND & SMOOTH TO MATCH EXISTING ADJACENT CONDITIONS.
- G. PATCH ALL HOLES IN MASONRY WALLS AND GYPSUM WALL BOARD RESULTING FROM DEMOLITION AND REMOVAL. INFILL WITH LIKE MATERIAL, BLEND & SMOOTH TO MATCH EXISTING ADJACENT CONDITIONS.
- H. FIRE STOPPING MATERIAL SHALL BE INSTALLED AROUND ALL NEW AND EXISTING PIPES, DUCTS, CONDUITS OR OTHER PENETRATIONS IN FIRE PARTITION, FIRE BARRIER AND FIRE WALLS. TYPICAL FIRE STOPPING MATERIAL SHALL BE INSTALLED AT JUNCTION OF NEW WALLS, FLOOR DECK AND/OR ROOF DECK. REFER TO DRAWING G100 FOR FIRE RESISTANCE RATING OF ALL WALLS.
- I. REFER TO ROOM FINISH PLAN FOR ALL FINISHES AND LOCATIONS.
- J. ALL GYPSUM WALLBOARD INSTALLED OVER NEW OR EXISTING WALLS SHALL EXTEND 6" ABOVE FINISH CEILING.
- K. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR COORDINATION OF ALL EQUIPMENT.
- L. COORDINATE ALL ELECTRICAL ITEMS WITH CASEWORK DRAWINGS FOR ALL ELECTRICAL COORDINATION CUT OUTS.
- M. VERIFY LOCATION OF NEW KITCHEN EQUIPMENT FOR PLACEMENT AND UTILITY CONNECTIONS. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR INFORMATION.
- N. REFER TO A1505 FOR PLAN DETAILS.
- O. PATCH FLOORS WHERE WALLS HAVE BEEN DEMOLISHED TO MATCH EXISTING SLAB ELEVATION AND PREP FOR NEW FLOOR FINISH. REFER TO FLOORING DRAWINGS FOR NEW FLOOR FINISHES.
- P. PROVIDE BLOCKING IN WALLS TO INSTALL WALL MOUNTED EQUIPMENT (CASEWORK & ACCESSORIES).
- Q. REFER TO DRAWING A001 FOR DOOR AND WINDOW INFORMATION.

KEYED NOTES

REFER TO INTERIOR RENOVATION PLAN. THE PREFIX "I" INDICATES INTERIOR RENOVATION NOTE.

- EXISTING DOORS, FRAME AND HARDWARE TO REMAIN. PRIME AND PAINT. REFER TO SPECIFICATION SECTION 09 9000 FOR FURTHER INFORMATION.
- NEW HANDRAILS, PAINTED. REFER TO DETAILS.
- EXISTING HANDRAILS TO REMAIN, RE PAINT.
- PROVIDE NEW 6" TYPE FIRE EXTINGUISHER. LOCATION TO BE COORDINATED WITH ARCHITECT AND OWNER.
- PROVIDE NEW FIRE EXTINGUISHER CABINET AND SIGNAGE.
- NEW MILLWORK FOR HOST STATION.
- NEW CONCRETE STAIR. REFER TO 1-102 FOR FINISH INFORMATION.
- EXISTING BRICK KNEE WALL TO REMAIN. RESURFACE PLANTER BOX ON TOP OF WALL.
- NEW VENTLESS GAS FIREPLACE AND SURROUND.
- NEW FLAT PANEL TV.
- NEW POCKET CEILING DOOR.
- RESURFACE COUNTER TOPS w/ NEW SOLID SURFACE MATERIAL.
- NEW STONE PEBBLES IN EXISTING PLANTER BOXES.
- PROVIDE SURFACE MOUNTED FIRE EXTINGUISHER IN THIS LOCATION.

SEALED:



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ARCHITECT:



ENGINEER:



REVISIONS

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CHECKED BY: AGK/JNC

INTERIOR FLOOR PLAN - NOTED

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RCUJ No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS



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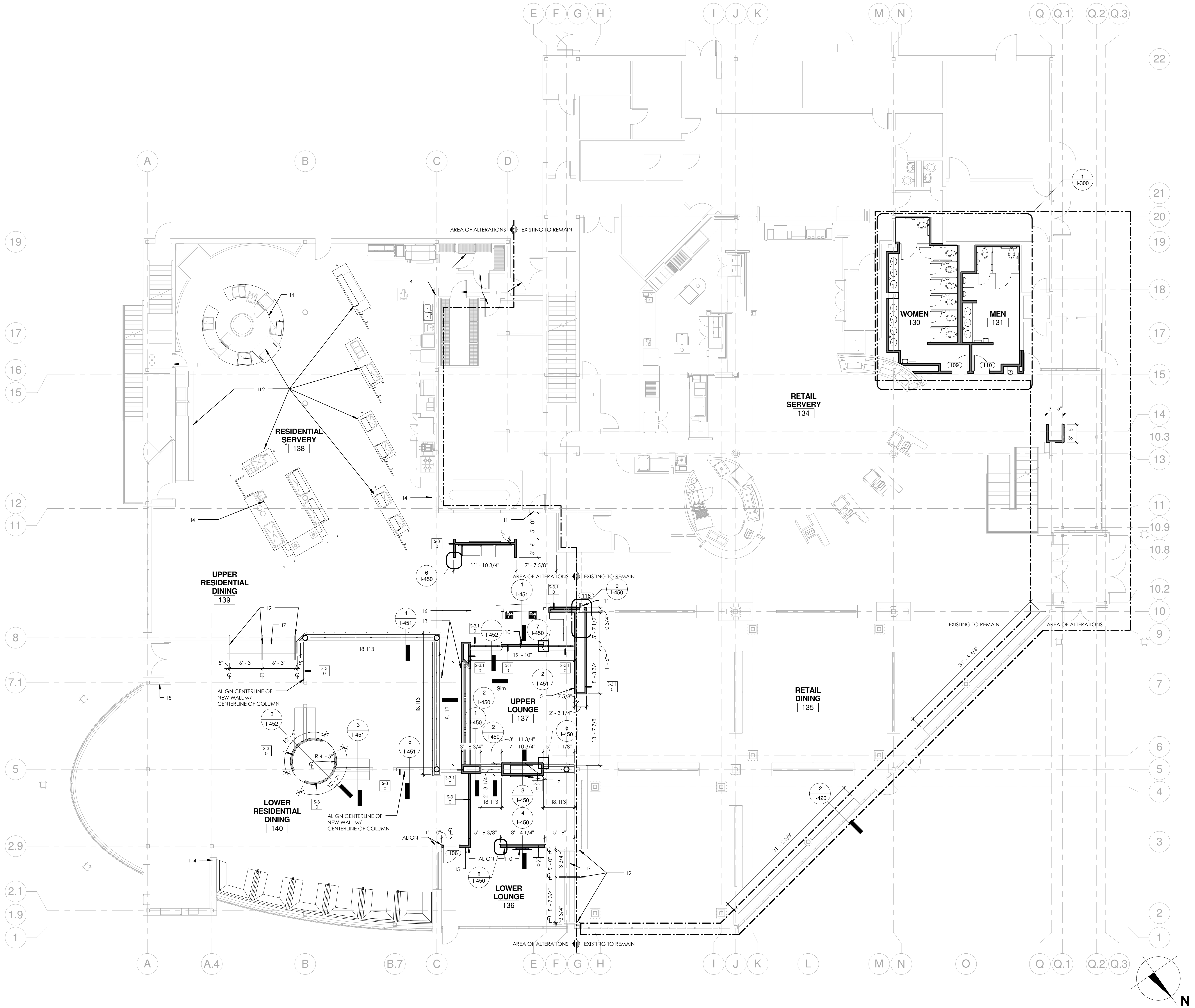
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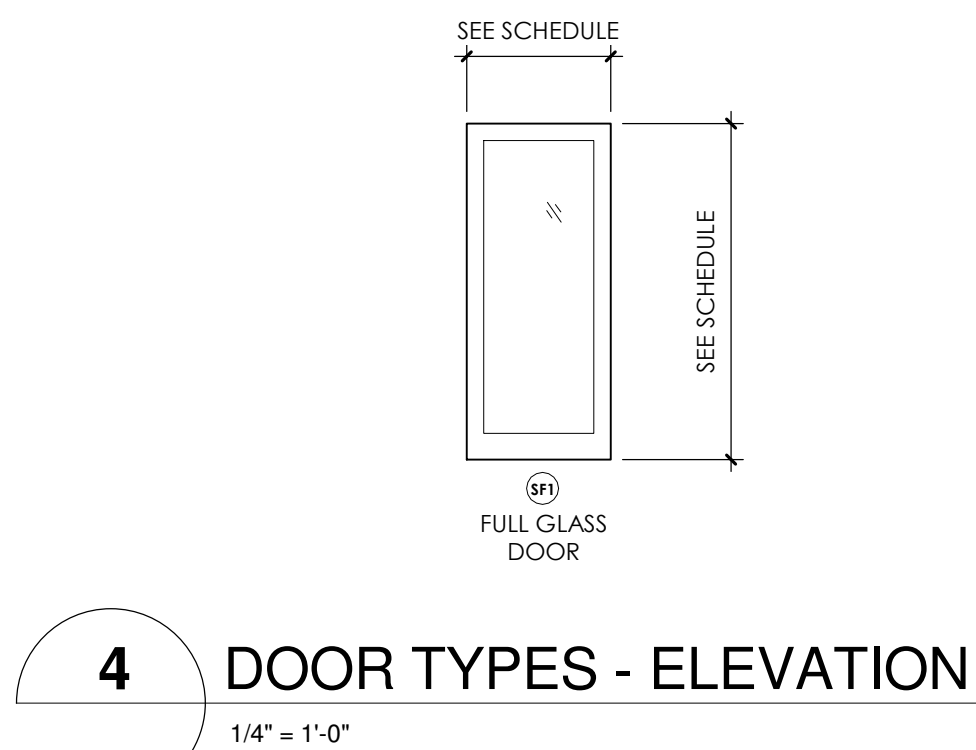
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1 FLOOR PLAN - INTERIOR - NOTED

1/8" = 1'-0"



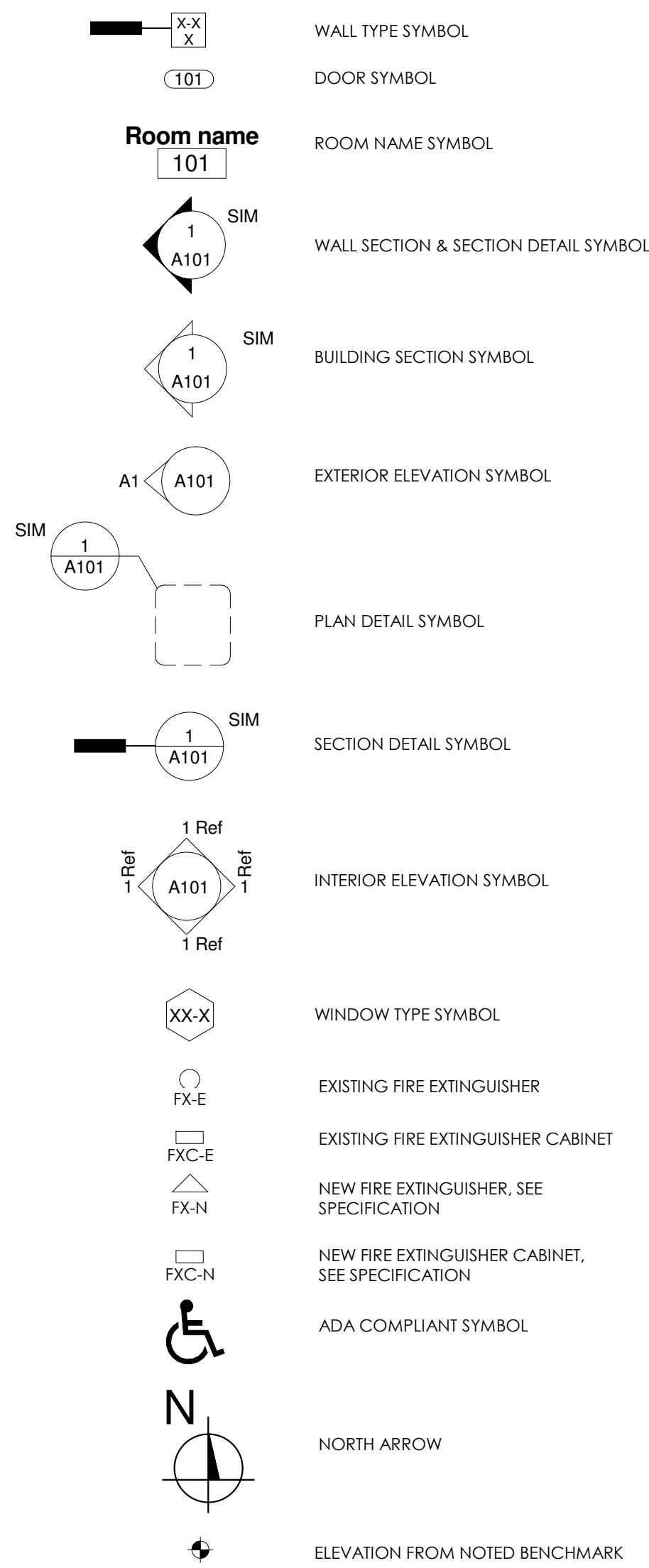
DOOR SCHEDULE														
DOOR #	LOCATION	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	MAT	FIN	FRAME TYPE	MAT	FIN	HEAD DIM	GLAZING TYPE	HARDWARE GROUP NUMBER	COMMENTS
100	NEW VESTIBULE	SF1 (3)	3'-0"	7'-0"	0'-2 1/4"	AL	CA	SF7	AL	CA	1-3/4"	I-1	HW-13	
101	NEW VESTIBULE	SF1 (3)	3'-0"	7'-0"	0'-2 1/4"	AL	CA	SF7B	AL	CA	1-3/4"	I-1	HW-13	
102	RETAIL DINING	SF1	3'-0"	7'-0"	0'-2 1/4"	AL	BZ	SF6	AL	BZ	1-3/4"	I-1	HW-41	
103	RETAIL DINING	SF1	3'-0"	7'-0"	0'-2 1/4"	AL	BZ	SF6	AL	BZ	1-3/4"	I-1	HW-41	
104	LOWER LOUNGE	SF1	3'-0"	7'-0"	0'-2 1/4"	AL	BZ	SF4	AL	BZ	1-3/4"	I-1	HW-41	
105	RESIDENTIAL DINING	SF1 (2)	3'-0"	7'-0"	0'-2 1/4"	AL	CA	SF13	AL	CA	1-3/4"	I-1	HW-13	
107	EXISTING VESTIBULE	SF1	3'-0"	7'-0"	0'-2 1/4"	AL	CA	SF7	AL	CA	1-3/4"	I-1	HW-13a	
108	EXISTING VESTIBULE	SF1	3'-0"	7'-0"	0'-2 1/4"	AL	CA	SF8	AL	CA	1-3/4"	I-1	HW-13a	
111	EXISTING VESTIBULE	SF1 (2)	6'-0"	7'-0"	0'-2 1/4"	AL	CA	SF7A	AL	CA	1-3/4"	I-1	HW-13	



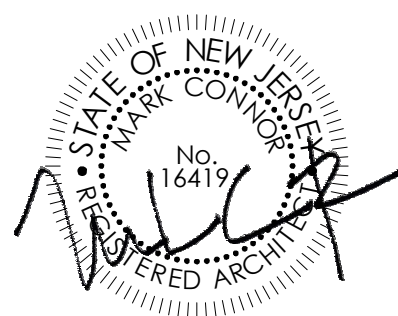
4 DOOR TYPES - ELEVATION

1/4" = 1'-0"

SYMBOLS LEGEND



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ARCHITECT:



ENGINEER:



REVISIONS

DRAWN BY: JNC
CHECKED BY: JNC

WALL & DOOR INFORMATION

SCOTT STUDENT CENTER
RESIDENTIAL DINING
505 RAMAPO VALLEY RD.
MAHWAH, NJ 07430

RAMAPO COLLEGE
OF NEW JERSEY

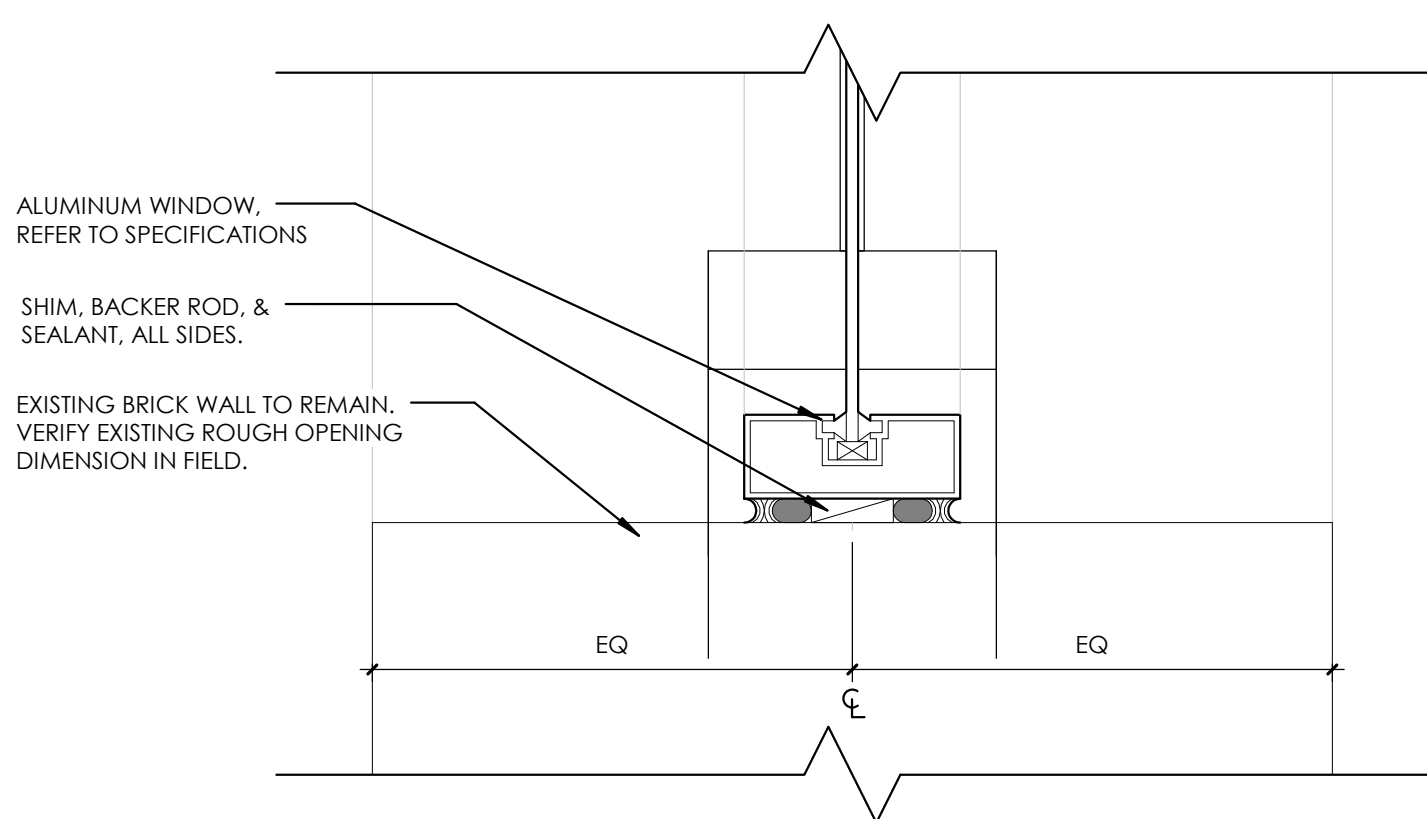
RCU No. 2014-37-01-C PHASE 2: ALTERATIONS & ADDITIONS

ISSUED:
03.24.2016

DESCRIPTION:
BID DOCUMENTS

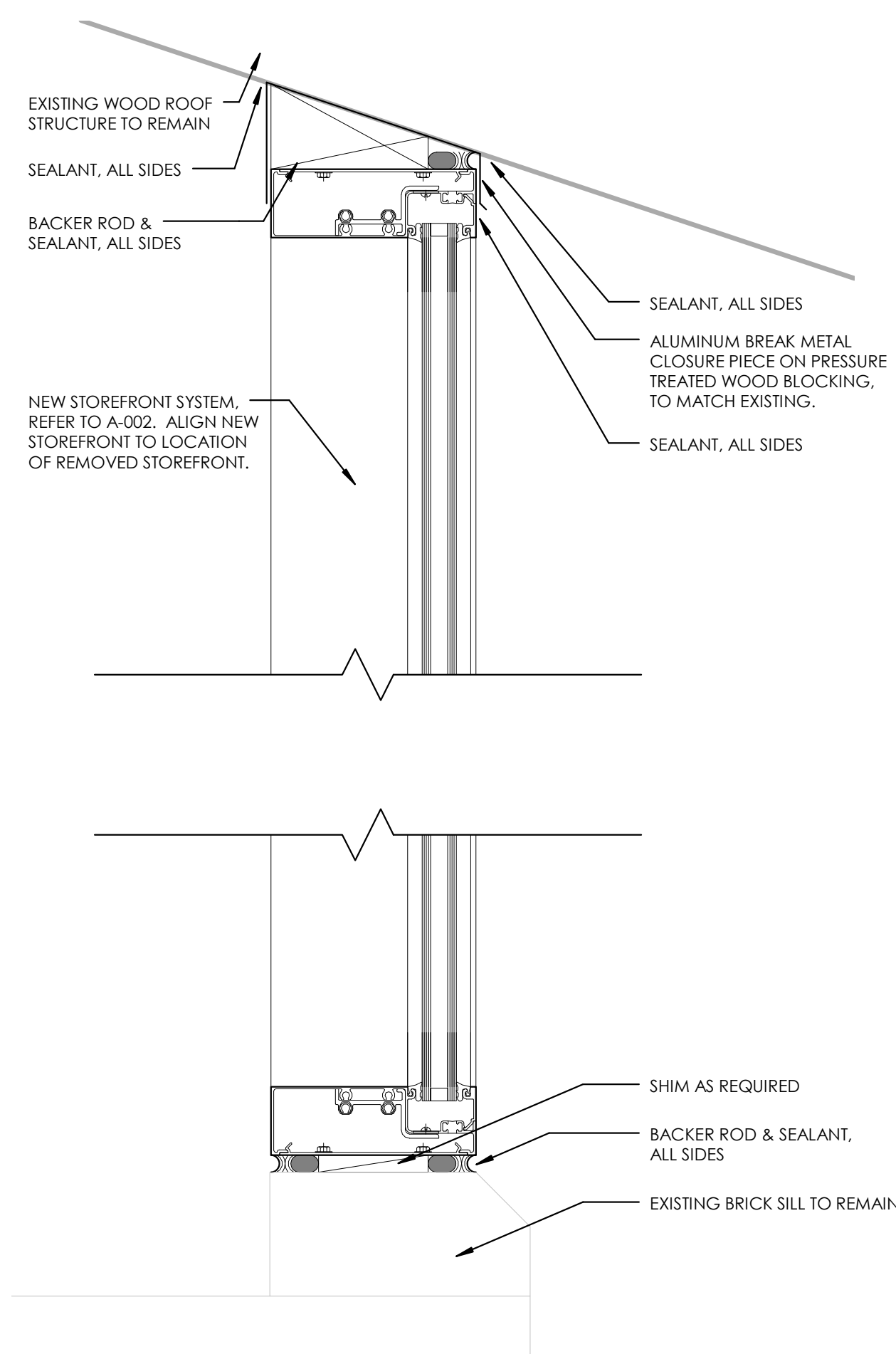
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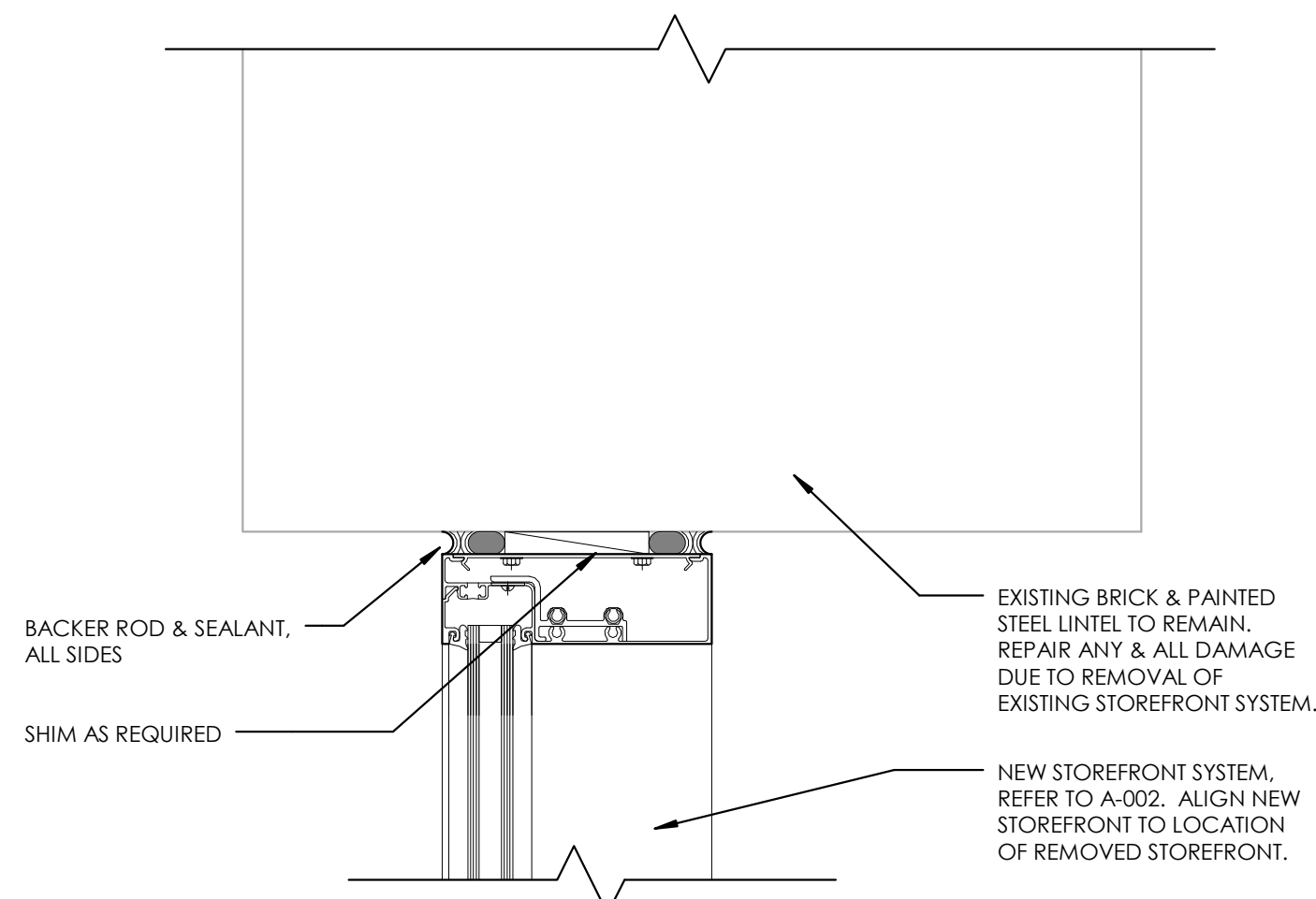
1 W1 JAMB DETAIL

3" = 1'-0"



2 TYPICAL NEW WINDOW IN EXISTING OPENING

3" = 1'-0"



3 TYPICAL HEAD DETAIL IN EXISTING BRICK WALL

3" = 1'-0"

ARCHITECTURAL ABBREVIATIONS

A	AND	J	JANITOR
@	AT	L	LAVATORY
ACT	ACOUSTICAL CEILING TILE	M	MEP
ALT	ALTERNATE	MAN	MANUFACTURER
ALUM	ALUMINUM	MAT	MATERIAL
AVG	AVERAGE	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MIN	MINIMUM
B	BOARD	MO	MASONRY OPENING
BDO	BUILDING	MTL	METAL
BOD	BOTTOM OF DECK	N	NOT APPLICABLE
BSMT	BASEMENT	NA	NOT IN CONTRACT
C	CEMENTITIOUS BACKER UNIT	NR	NOT RATED
CBU	CORNER GUARDS	NTS	NOT TO SCALE
CG	CONTROL JOINT	ON	ON CENTER
CJ	CEILING	OD	OUTSIDE DIAMETER
CL	CENTER LINE	OPNG	OPENING
CLR	CLEAR	OVHG	OVERHANG
CMU	CONCRETE MASONRY UNIT	P	PLUS OR MINUS
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PT	PRESSURE TREATED
CPT	CARPET	PLAM	PLASTIC LAMINATE
CRS	COURSE(S)	Q	QUANTITY
D	DEMOLITION	R	RISER
DF	DRINKING FOUNTAIN	RD	ROOF DRAIN
DIA	DIAMETER	REF	REFRIGERATOR
DIM	DIMENSION	REQ	REQUIRED
DN	DOWN	REV	REVISION
DWG	DRAWING	RO	ROUGH OPENING
E	EACH	S	SIMILAR
EA	EXPANSION JOINT	SF	SQUARE FOOT/ FEET
EJ	ELECTRIC	SS	STAINLESS STEEL
ELEC	ELEVATION/ ELEVATOR	STL	STEEL
ELEV	RUBBER ROOF MEMBRANE	T	TREAD
EPDM	EQUAL	TEMP	TEMPERATURE
EQ	EXISTING	TOS	TOP OF STEEL
EXT	EXTERIOR	TV	TELEVISION
F	FLOOR DRAIN	TYP	TYPICAL
FD	FOUNDATION	V	VINYL COMPOSITION TILE
FDN	FOOT/FEET	VIF	VERIFY IN FIELD
FEC	FOOTING	W	WITHOUT
FT	FOOTING	WO	WOOD
FTG	FOOTING	WD	WOOD
G	GAGE		
GA	GALVANIZED		
GALV	GENERAL CONTRACTOR		
GC	GENERAL		
GEN	GLASS		
GL	GYPSSUM WALL BOARD		
GWB			
H	HANDICAPPED		
HC	HEIGHT		
HT	HOLLOW METAL		
HM	HOUR		
HR	HEATING, VENTILATING & AC		
HVAC			

WALL FINISHES

GENERAL NOTES

- A. PROVIDE APPROPRIATE CONTROL JOINTS TO FOR ALL WALL TILE.
B. REFER TO THE TCNA HANDBOOK FOR TILE INSTALLATION METHODS.
C. ALL GWB SURFACES TO HAVE PAINTED FINISH, AS SPECIFIED.
D. PROVIDE SCHLUTER CORNER GUARD PROTECTION AT ALL WALL TILE CORNERS.
E. REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON STONE AND TILE.
F. PAINT ALL EXPOSED CONDUIT ON WALLS. COLOR TO BE SELECTED.
G. FOR SIGNAGE INFORMATION REFER TO SHEET I-460.

WALL FINISH KEYED NOTES

- REFER TO WALL FINISH PLAN.
THE PREFIX "W" INDICATES WALL FINISH NOTE.
1. TERMINATE WF-1 BRICK TILE WITH SCHLUTER STRIP AT THE JOINT WHERE EXISTING TILE STOPS.
2. PROVIDE WATERPROOFING BEHIND WALL FINISH. WRAP WATERPROOFING MEMBRANE FROM FLOOR TO WALL UP TO 12".
3. PROVIDE APPROPRIATE SCHLUTER EXTRUDED METAL TILE EDGE DETAILS. CLEAR ALUMINUM.
4. EXISTING BRICK TO REMAIN - NO PAINT OR ADDITIONAL WALL FINISH.
5. TERMINATE ALL WALL TILE WITH SCHLUTER METAL TOP CAP. CONTINUE WF-1 TILE FROM EXISTING WALL INTO WORK AREA. REMOVE CUT TILES AND REPLACE WITH NEW FULL TILES AS REQUIRED TO BLEND IN PATTERN.
6. PROVIDE 2" STEEL ANGLE AS CORNER GUARD WITH 2" STEEL FLAT STOCK AS BASE AND 2" STEEL FLAT STOCK @ 8'-0" SECURED WITH BOLTS AND WASHERS TO STUDS.
7. EXISTING WALL TILE TO REMAIN.
8. WOOD PLANTER BOX TO REMAIN AND BE RECOVERED WITH STEEL PLATE. REFER TO DETAILS.
9. PROVIDE FULL HEIGHT STEEL FLAT STOCK EDGE. REFER TO DETAIL.
10. PROVIDE NEW GWB WALLS. PREP AND PAINT. COLOR TO BE DETERMINED.
11. EXISTING WALLS. PREP AND PAINT. COLOR TO BE DETERMINED.
12. PAINT WALLS ABOVE TO EXISTING CEILING.
13. PAINT NEW STAIR RAILING I-OP-ND. REFER TO SPECIFICATION SECTION 09 9000 PAINTING FOR ADDITIONAL INFORMATION. COLORS TO BE SELECTED.
14. NEW WALL TILE OVER EXISTING CHALK WALL.
15. PROVIDE STEEL C-CHANNEL DETAILS AT BOOTH ENDS. WITH IN CHANNEL WELD 2 CUSTOM HOOKS BENT FROM 8" BOLTS. 16307 A/F AND 16307 A/F.
16. PAINT COLUMNS WITHIN STEEL FRAME AN ACCENT COLOR TO BE SELECTED. PAINT COLUMNS ABOVE STEEL TO MATCH CEILING COLOR.
17. GWB CEILING CLOUD. PAINT I-OP. COLORS TO BE SELECTED.
18. EXISTING DOOR AND FRAME TO REMAIN. BUTT SCHLUTER STRIP SHUGLY AGAINST FRAME AND PROVIDE CLEAN GROUT EDGE.
19. PAINT EXISTING DOOR AND FRAME I-OP-MD-DT. COLORS TO BE SELECTED.
20. PROVIDE SOLID SURFACE SILL/WALL CAP.

INTERIOR PAINT INFORMATION

REFER TO SPECIFICATION SECTION 09 9000 PAINTING AND COATING FOR ADDITIONAL INFORMATION.

- > TYPE I-OP - ALL INTERIOR SURFACES INDICATED TO BE PAINTED. EGGSHELL FINISH. COLORS TO BE SELECTED.
> TYPE I-OP-MD-DT - MEDIUM DUTY DOOR/TRIM. SEMI-GLOSS. COLORS TO BE SELECTED.
> TYPE I-OP-HD - HEAVY DUTY VERTICAL AND OVERHEAD. EPOXY GLOSS. COLORS TO BE SELECTED.
> TYPE I-OP-DE - DRY FALL. FLAT. COLORS TO BE SELECTED.
> TYPE I-TR-W - TRANSPARENT FINISH ON WOOD.

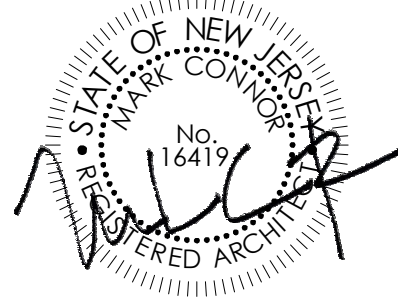
WALL FINISH INFORMATION

- > WF-1: RECLAIMED THIN WOOD
MANUFACTURER: STIMWOOD
STYLE: RECLAIMED
COLOR: MULTIPLE COLORS. TO BE SELECTED
FINISH WITH 3 COATS I-TR-W
PRODUCT MUST BE ORDERED WITH CLASS A FIRE RATED TREATMENT OR TREATED AS SUCH ON SITE
SPECIFICATION SECTION 08 4214 WOOD VENEER PANELING
- > WF-2: 'LIVE EDGE' WOOD
MANUFACTURER: MILLWORK
STYLE: TO MATCH EXISTING TREATMENT IN RETAIL SEATING AREA
COLOR: OAK VENEER OVER FIRE RATED PLYWOOD. CLEAR COAT FINISH WITH 3 COATS I-TR-W
- > WF-3: VINYL WALLCOVERING
MANUFACTURER: WOLF GORDON
IMAGE AND SUBSTRATE TO BE SELECTED

WALL TILE INFORMATION

- REFER TO SPECIFICATION SECTION 09 3000 TILING
- > WTL-1:
MANUFACTURER: SENECA BRICK
STYLE: THIN BRICK TILE
SIZE: 2" x 8" BRICK
COLOR: GLACIER BLEND
GROUT: MAPEI OPTICOLOR OR SIMILAR. CHARCOAL.
- > WTL-2:
MANUFACTURER: FIRECLAY TILE
STYLE: KITE
SIZE: 7-1/2" x 5-1/2"
COLOR: SEVERAL COLORS TO BE SELECTED
GROUT: 1/8" GROUT JOINTS IN MAPEI OPTICOLOR OR SIMILAR. COLOR TO BE SELECTED.
- > WTL-3:
MANUFACTURER: SUSAN JABLON MOSAICS
STYLE: RECYCLED
SIZE: 3/4" x 3/4"
COLOR: WHITE
GROUT: MAPEI OPTICOLOR OR SIMILAR. CHARCOAL.
- > WTL-4:
MANUFACTURER: NEMO TILE
STYLE: RACOR
SIZE: 3/4" x 4"
COLOR: MATTE STAINLESS
GROUT: MAPEI OPTICOLOR OR SIMILAR. COLOR TO BE SELECTED.
- > WTL-5:
MANUFACTURER: CROSSVILLE TILE
STYLE: NOW
SIZE: 3" x 12"
COLOR: LEAD
GROUT: MAPEI OPTICOLOR OR SIMILAR. CHARCOAL.
- > WTL-6:
MANUFACTURER: CROSSVILLE TILE
STYLE: NOW
SIZE: 3" x 12"
COLOR: MOSS
GROUT: MAPEI OPTICOLOR OR SIMILAR. CHARCOAL.
- > WTL-7:
MANUFACTURER: FIRECLAY TILE
STYLE: PICKET
SIZE: 10-1/4" x 3-3/4"
COLOR: TO BE SELECTED
GROUT: MAPEI OPTICOLOR OR SIMILAR.
- > WTL-8, WTL-9, WTL-10:
REFER TO TOILET ROOM SHEET
REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION.

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ARCHITECT:



ENGINEER:



REVISIONS

DRAWN BY: AGK
CHECKED BY: AGK

FLOOR PLAN - WALL FINISHES

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RAMAPO COLLEGE
OF NEW JERSEY

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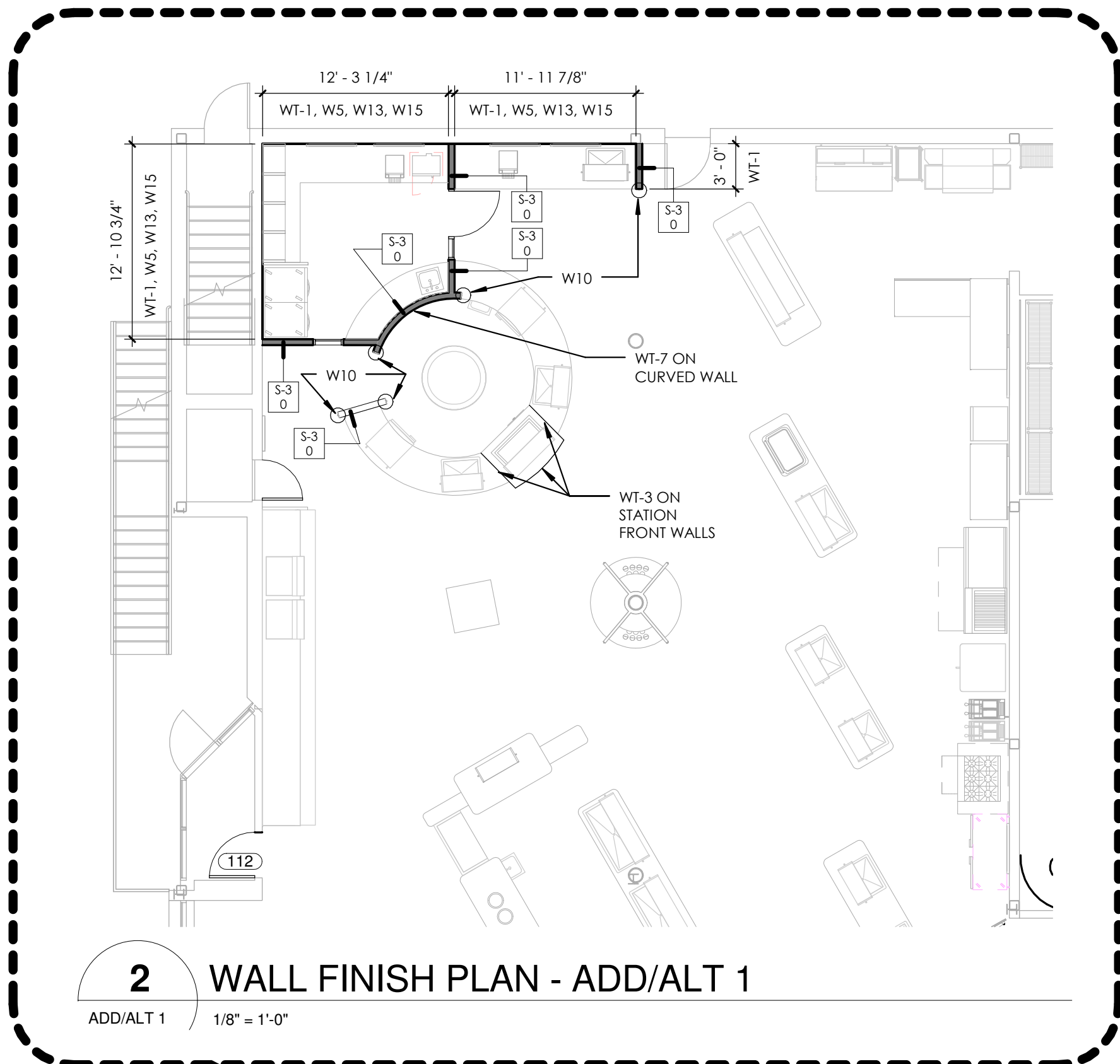


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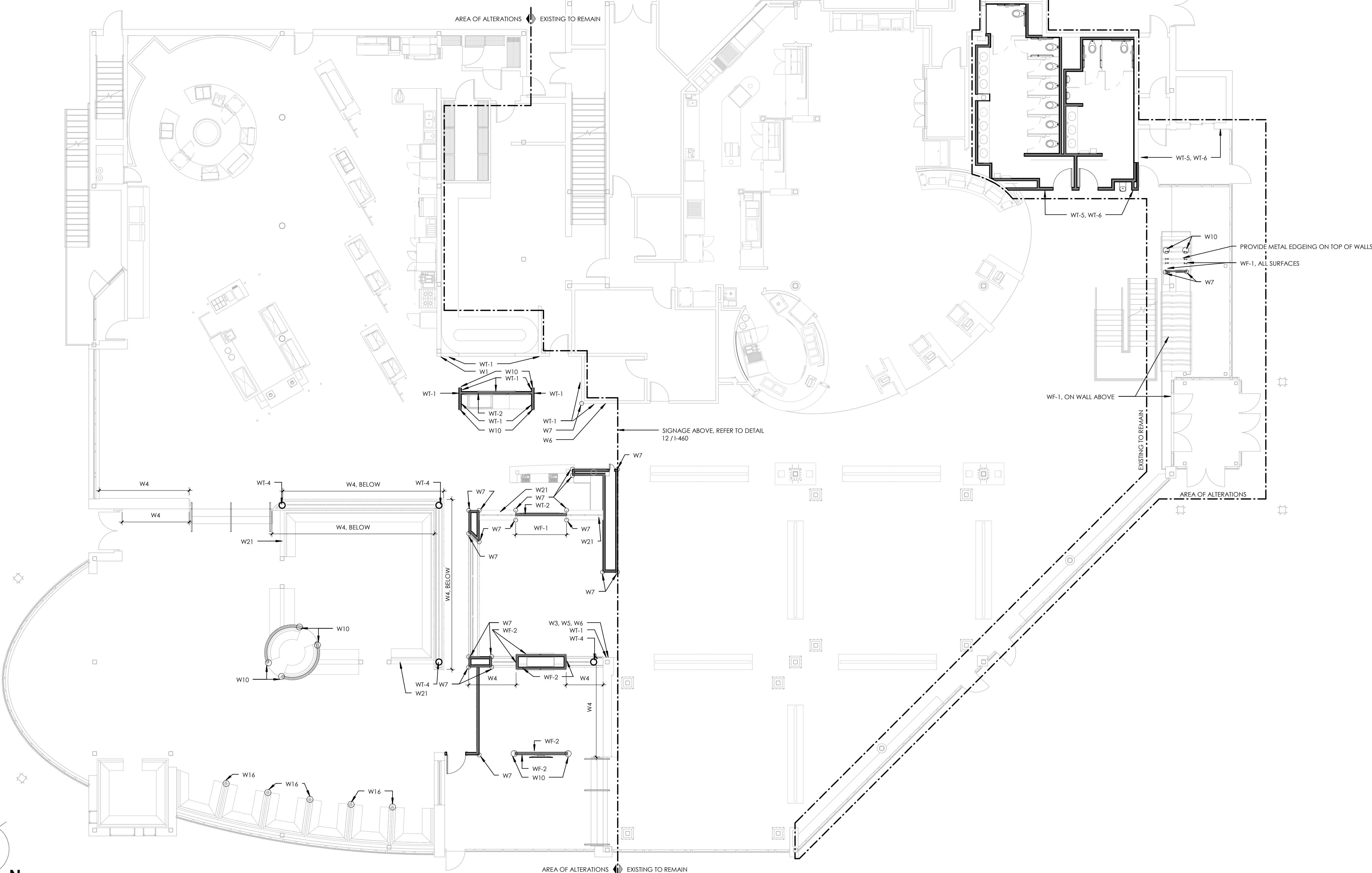
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BID DOCUMENTS

SHEET:

I-101



ADD/ALT/1



1

WALL FINISH PLAN

1/8" = 1'-0"

FLOOR FINISHES

GENERAL NOTES

- A. WHERE DISSIMILAR FLOOR MATERIALS MEET, PROVIDE A TRANSITION STRIP UNLESS OTHERWISE NOTED. TRANSITION STRIPS SHOULD BE LOCATED UNDER THE DOOR SO THAT ONLY ONE MATERIAL CAN BE SEEN FROM EITHER SIDE. SEE DETAILS.
- B. FLOOR MATERIALS SPECIFIED SHOULD BE INSTALLED CONTINUOUSLY ON FLOORS UNDER CASEWORK.
- C. REFER TO DRAWINGS FOR FLOOR PATTERNS.
- D. PATCH SUB FLOOR AS REQUIRED. BRING FLUSH WITH EXISTING ADJACENT FLOOR SURFACE TO PROVIDE A LEVEL AND SMOOTH SURFACE FOR NEW FLOORING INSTALLATION.
- E. IN INSTANCES OF RENOVATION WHERE FLOORING ADHESIVE IS VISIBLE ON THE SUBSTRATE - INSTALLER MUST SEAL THE SURFACE PRIOR TO NEW CARPET AND RESILIENT FLOORING INSTALLATION.
- F. PROVIDE SQUARE FLOOR DRAINS. COORDINATE LOCATIONS WITH PLUMBING DRAWINGS.
- G. WHERE VINYL WALL BASE IS CALLED FOR, PROVIDE JOHNSONITE 6" STRAIGHT WALL BASE.
- H. PROVIDE APPROPRIATE CONTROL JOINTS TO COORDINATE WITH STRUCTURAL CONTROL JOINTS FOR PORCELAIN FLOOR TILE.
- I. REFER TO THE TCA HANDBOOK FOR TILE FLOORING INSTALL METHODS.
- J. IN LOCATIONS WHERE THE FLOORING IS SCHEDULED TO BE PORCELAIN TILE, THE ADJACENT WALL BASE SHOULD BE 6" HIGH PORCELAIN TILE TO MATCH ADJACENT TILE FLOOR. TOP OF BASE TILE SHALL BE NEATLY CAULKED TO WALL.

KEYED NOTES

REFER TO FLOORING PLAN.
THE PREFIX "F" INDICATES FLOORING NOTE.

1. USE SAME 6" FLOOR TILE PT-2 PLANK AS FLOOR AND RUN ALONG WALL TO ACT AS WALL BASE.
2. ALIGN FINISH FLOOR HEIGHTS TO MATCH EXISTING.
3. EXISTING FLOOR TO REMAIN.
4. PATCH IN NEW TILE TO BE SEAMLESS AND CONTINUOUS WITH EXISTING TILE IF REQUIRED. DEMO OLD TILE BACK TO FACTORY FULL TILE IN ORDER TO ALIGN TILE GROUT LINES.
5. EXISTING STAIR FINISHES TO REMAIN.
6. PROVIDE METAL TRANSITION STRIP AT TOILET ROOM LOCATIONS.
7. PATCH IN NEW CARPET TILE TO MATCH EXISTING WHERE NEW WALLS ARE CONSTRUCTED AS NECESSARY.
8. PROVIDE METAL TRANSITION STRIP.
9. MAINTAIN FLUSH AND SMOOTH SURFACE TRANSITION BETWEEN NEW TILE TYPES.

FLOORING SCHEDULE - STAIR SYSTEM

REFER TO SPECIFICATION SECTION 09 9300 TILING FOR ADDITIONAL INFORMATION

- SS-1: CONCRETE STAIN
MANUFACTURER: XXX
COLOR: TO BE SELECTED

FLOORING SCHEDULE - CARPET

REFER TO SPECIFICATION SECTION 09 3200 CARPET TILE FOR ADDITIONAL INFORMATION

- CPT-1: TILE
STANDARD SIZE: 50 cm x 50 cm (19.69 in x 19.69 in)
MANUFACTURER: INTERFACE
PATTERN: NET EFFECT
COLOR: 102909 CASPIAN
INSTALL: NON DIRECTIONAL
- CPT-2: PLANK TILE
STANDARD SIZE: 25 cm x 1 m (9.84 in x 39.37 in)
MANUFACTURER: INTERFACE
PATTERN: ON LINE
COLOR: 103801 POPPY
INSTALL: AS INDICATED
- CPT-3: PLANK TILE
STANDARD SIZE: 25 cm x 1 m (9.84 in x 39.37 in)
MANUFACTURER: INTERFACE
PATTERN: RECLAIM
COLOR: 104148 BARN RUST
INSTALL: AS INDICATED
- CPT-4: PLANK TILE
STANDARD SIZE: 25 cm x 1 m (9.84 in x 39.37 in)
MANUFACTURER: INTERFACE
PATTERN: ON LINE
COLOR: 103798 LIME
INSTALL: AS INDICATED
- CPT-5: PLANK TILE
STANDARD SIZE: 25 cm x 1 m (9.84 in x 39.37 in)
MANUFACTURER: INTERFACE
PATTERN: RECLAIM
COLOR: 104145 WORN OLIVE
INSTALL: AS INDICATED
- CPT-6: TILE
STANDARD SIZE: 50 cm x 50 cm (19.69 in x 19.69 in)
MANUFACTURER: INTERFACE
PATTERN: STEP REPEAT SR999
COLOR: 104944 IRON
INSTALL: NON DIRECTIONAL
- CPT-7: TILE
STANDARD SIZE: 50 cm x 50 cm (19.69 in x 19.69 in)
MANUFACTURER: INTERFACE
PATTERN: A PEELING
COLOR: 102770 RUSTED
INSTALL: NON DIRECTIONAL
- CPT-8: TILE
STANDARD SIZE: 50 cm x 50 cm (19.69 in x 19.69 in)
MANUFACTURER: INTERFACE
PATTERN: A PEELING
COLOR: 102773 GRUNGE
INSTALL: NON DIRECTIONAL
- CPT-9: PLANK TILE
STANDARD SIZE: 25 cm x 1 m (9.84 in x 39.37 in)
MANUFACTURER: INTERFACE
PATTERN: ON LINE
COLOR: 103271 RUST
INSTALL: AS INDICATED

FLOORING SCHEDULE - PORCELAIN

REFER TO SPECIFICATION SECTION 09 9300 TILING FOR ADDITIONAL INFORMATION

- ETL-1: TILE
STANDARD SIZE: 24" x 24"
MANUFACTURER: CROSSVILLE
PATTERN: RECLAMATION
COLOR: AN724 STEEL CITY
INSTALL: QUARTER TURN
- ETL-2: TILE
STANDARD SIZE: 6" x 24"
MANUFACTURER: STONEPEAK
PATTERN: QUARTZITE
COLOR: IRON
INSTALL: AS SHOWN
- ETL-3: TILE
STANDARD SIZE: 6" x 24"
MANUFACTURER: CROSSVILLE
PATTERN: RECLAMATION
COLOR: AN724 STEEL CITY ETCHING
INSTALL: AS SHOWN

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REVISIONS

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CHECKED BY: AGK

FLOOR PLAN - FLOOR FINISHES

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RAMAPO COLLEGE
OF NEW JERSEY

RCU No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS



ISSUED:
03.24.2016

DESCRIPTION:
BID DOCUMENTS

SHEET:

I-102

2 FLOOR FINISH PLAN - ADD/ALT 1

ADD/ALT 1 1/8" = 1'-0"

ADD/ALT/1

3 NEW STAIR SECTION - FINISH DETAIL

3/4" = 1'-0"

4 NEW STAIR SECTION @ NEW FLOOR INFILL - FINISH DETAIL

3/4" = 1'-0"

1 FLOOR FINISH PLAN

1/8" = 1'-0"

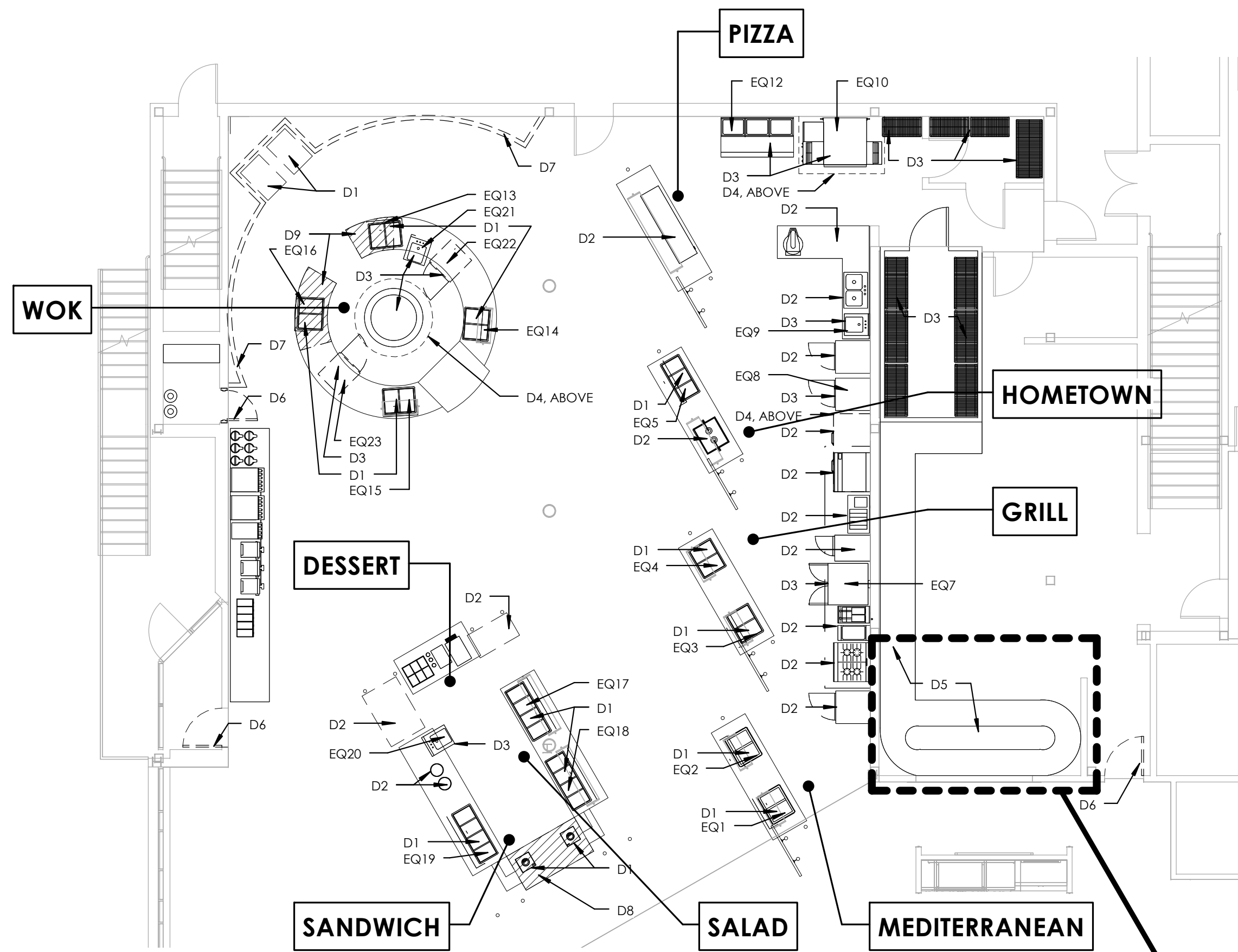
NEW EQUIPMENT SCHEDULE

ItemNo	Quantity	Category	Mfr	Model
1	1	Sandwich / Salad Preparation Refrigerator	Continental Refrig	SW72-30M-FB
2	1	Range, 36", 6 Open Burners	Vulcan	365-68
3	1	Charbroiler	Vulcan	VAC3636
4	1	Countertop Griddle	Vulcan	948RX
5	1	Equipment Stand, Refrigerated Base	Vulcan	ARS84
6	1	Carving Station / Shelf	Hatco	DCS8400-3624-2
7	1	Fryer	Vulcan	LG500
8	1	Work Table	Advance Tabco	KSS-305
9	1	Dual Temp Food Well, Drop-In	Wells	HRCF-7300
10	1	Drop-In Sink	Advance Tabco	DH-2012
11	1	Microwave Oven	ACP	RCS101S
12	1	Conveyor Toaster	Adcraft	CVYT-120
13	1	Reach-In Freezer	True	STG1F1S
14	1	Reach-In Refrigerator	True	STG1R1S
15	1	Heated Shelf Food Warmer	Hatco	GRS-72-L
16		Spare Number		
17	2	Drop-In Hot Well	Wells	SS-10
18	1	Display Freezer	Entree	OFL-40
19	1	Dipper Well	AllPoints	56-146Z
20	1	L-Shaped Work Table	Advance Tabco	KTM6-307
21	4	Decorative Lamp	Hatco	DL-775-CL
22	1	Reach-In Undercounter Refrigerator	Beverage Air	UCR60A

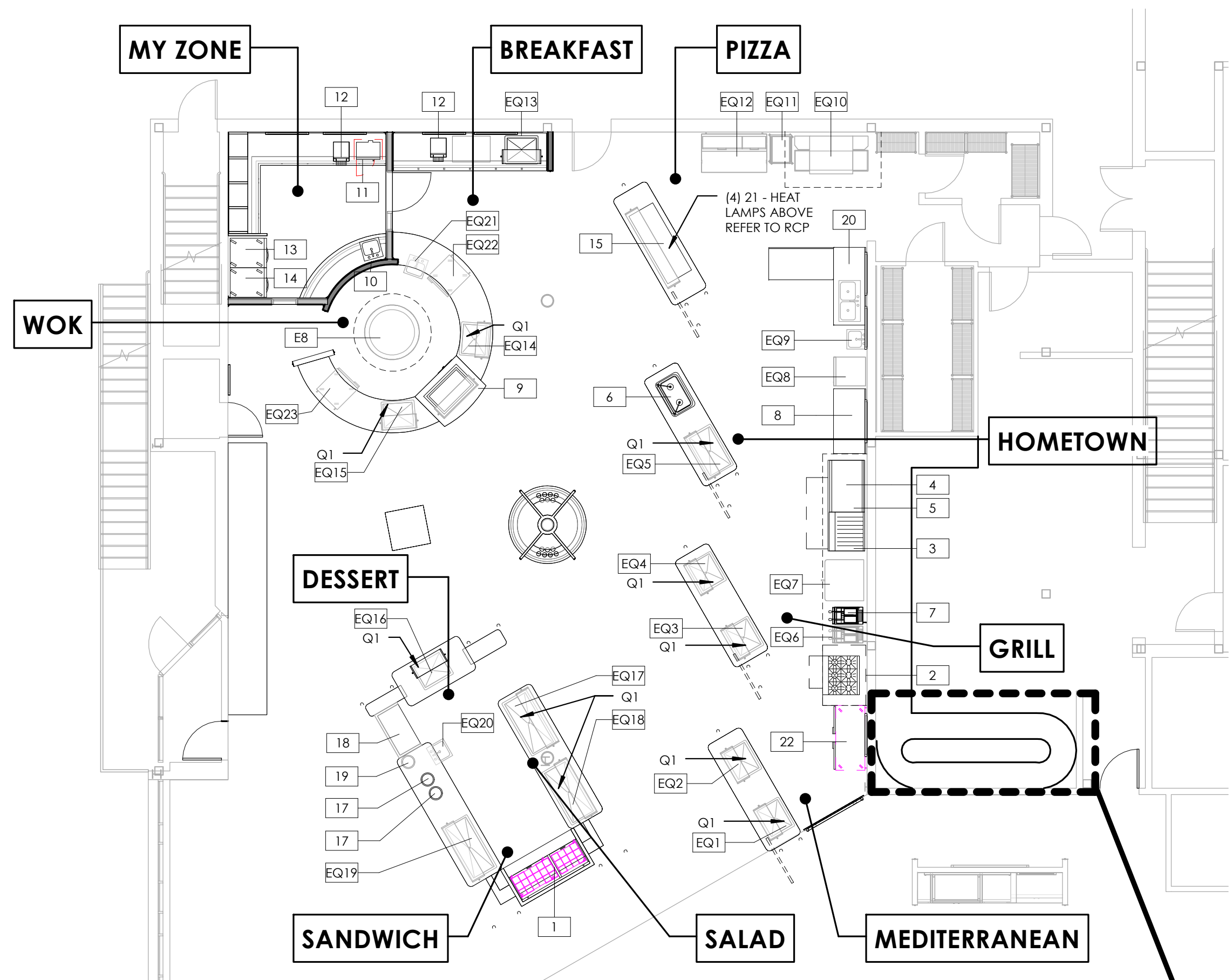
REFER TO THE SPECIFICATIONS AND EQUIPMENT CUT SHEETS FOR A FULL AND COMPLETE LIST OF UTILITY INFORMATION

EXISTING EQUIPMENT SCHEDULE

DESSERT	
EQ16	EXISTING COLD WELL
GRILL	
EQ3	EXISTING HOT WELL
EQ4	EXISTING HOT WELL
EQ6	EXISTING FRYER
EQ7	EXISTING CONVECTION OVEN
HOMETOWN	
EQ5	EXISTING HOT WELL
EQ8	EXISTING REFRIGERATOR
EQ9	EXISTING WALL MOUNTED SINK
MEDITERRANEAN	
EQ1	EXISTING HOT WELL
EQ2	EXISTING HOT WELL
PIZZA	
EQ10	EXISTING IMPINGER
EQ11	EXISTING PAN RACK
EQ12	EXISTING PIZZA MAKE TABLE
SALAD	
EQ17	EXISTING COLD WELL
EQ18	EXISTING COLD WELL
SANDWICH	
EQ19	EXISTING COLD WELL
EQ20	EXISTING HAND SINK
WOK	
EQ14	EXISTING HOT WELL
EQ15	EXISTING HOT WELL
EQ21	EXISTING SINK
EQ22	EXISTING UNDERCOUNTER REFRIDGERATOR
EQ23	EXISTING UNDERCOUNTER REFRIDGERATOR



ADD/ALT 2



ADD/ALT 2

EQUIPMENT PLAN

GENERAL NOTES

- REFER TO SPECIFICATION SECTION 11 4000 FOODSERVICE EQUIPMENT FOR ADDITIONAL INFORMATION.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR CONNECTION INFORMATION.
 - EQUIPMENT CONTRACTOR (KEC) FOR INSTALLATION AND TESTING OF ALL EQUIPMENT.
 - CONTRACTOR IS REQUIRED TO SET EQUIPMENT IN PLACE. THIS INCLUDES BUT IS NOT LIMITED TO ALL OWNER SUPPLIED "EXISTING" EQUIPMENT.
 - CONTRACTOR TO VERIFY EQUIPMENT DATA AS PROVIDED IN ELECTRICAL & PLUMBING DRAWINGS TO MINIMIZE SLAB TRENCHING AND CORING.
 - CONTRACTOR IS REQUIRED TO PROVIDE ALL EQUIPMENT UTILITY CONNECTIONS. COORDINATE WITH MEP DRAWINGS, EQUIPMENT CUT SHEETS, AND SUB-CONTRACTORS.
 - CONTRACTOR SHALL ARRANGE A PRE CONSTRUCTION MEETING WITH MEP, KEC, AND ARCHITECT.
 - COORDINATE ALL EQUIPMENT TO FIT UNDER COUNTERTOPS, FEET AND CASTERS TO BE COORDINATED DURING CONSTRUCTION SUBMITTAL PROCESS TO ENSURE THAT EQUIPMENT FITS UNDER COUNTERTOPS.
 - ALL COUNTERTOP CUTOUTS FOR EQUIPMENT MUST BE CUT TO HAVE ROUNDED CORNERS PER MANUFACTURER'S INSTRUCTIONS TO PREVENT SURFACE CRACKING OF COUNTERTOP MATERIAL.
 - REFER TO DETAILS FOR INFORMATION ON PROTECTING COUNTERTOPS FROM EXCESSIVE HEAT.
- EQ = EXISTING EQUIPMENT
 - V = VENDOR SUPPLIED

DEMOLITION NOTES

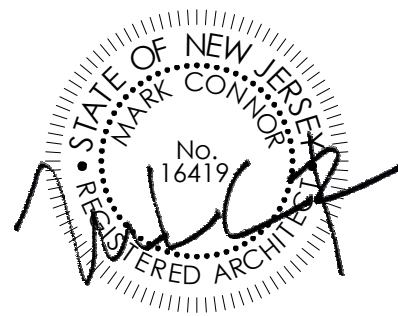
- REFER TO DEMOLITION PLAN.
THE PREFIX "D" INDICATES DEMO NOTE.
- REMOVE AND STORE FOR RELOCATION.
 - REMOVE EQUIPMENT AND ASSOCIATED STANDS/HARDWARE.
 - KITCHEN EQUIPMENT TO REMAIN - PROVIDE PROTECTION OF EQUIPMENT DURING WORK IN THIS AREA.
 - EXISTING HOOD TO REMAIN - PROVIDE PROTECTION OF EQUIPMENT DURING WORK IN THIS AREA.
 - REMOVE DISHROOM ACCUMULATOR, COORDINATE DISCONNECTS WITH OTHER TRADES.
 - REMOVE EXISTING DOOR & ASSOCIATED DOOR HARDWARE.
 - REMOVE EXISTING METAL STUD, GYPSUM BOARD, & METAL MESH PARTITION FROM THE FLOOR TO THE UNDERSIDE OF DECK TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE DISCONNECTS WITH OTHER TRADES.
 - REMOVE MILLWORK IN ITS ENTIRETY.
 - REMOVE PORTION OF MILLWORK - REFER TO NEW MILLWORK SERVRY PLAN FOR EXIST.

NEW WORK EQUIPMENT NOTES

- REFER TO RENOVATION PLAN.
THE PREFIX "Q" INDICATES EQUIPMENT NOTE.
- REINSTALL EXISTING EQUIPMENT.

NJDCA ELECTRONIC SUBMITTAL STAMP:

SEALED:



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Tel: 607-723-9421 | mjinc.com

REVISIONS

DRAWN BY: AGK
CHECKED BY: AGK

FLOOR PLAN - EQUIPMENT

SCOTT STUDENT CENTER
RESIDENTIAL DINING
RAMAPO COLLEGE
OF NEW JERSEY
505 RAMAPO VALLEY RD.
MAHWAH, NJ 07430

RCU No. 2014-37-01-C PHASE 2: ALTERATIONS & ADDITIONS



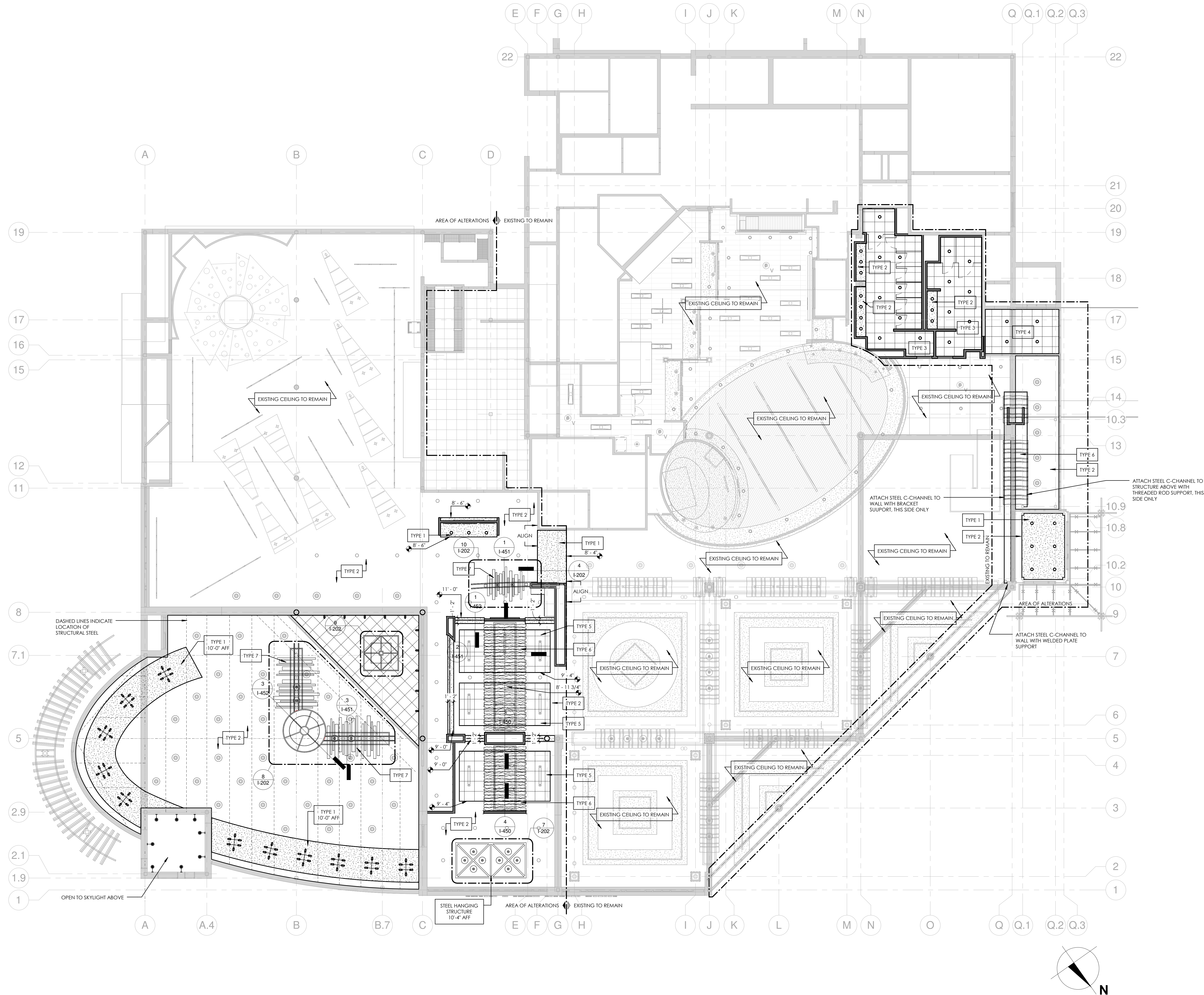
ISSUED:
03.24.2016

DESCRIPTION:
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SHEET:

I-103

ADD/ALT 1



2 REFLECTED CEILING PLAN
1/8" = 1'-0"

CEILING PLAN

GENERAL NOTES

- REFER TO SPECIFICATION SECTION 09 5100 CEILINGS FOR ADDITIONAL INFORMATION.
- REFER TO SPECIFICATION SECTION 09 2116 GYPSUM BOARD ASSEMBLIES FOR ADDITIONAL INFORMATION.
- REFER TO SPECIFICATION SECTION 09 9000 PAINTING AND COATING.
- REFER TO MECHANICAL DRAWINGS FOR DUCT WORK INFORMATION.
- REFER TO FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION ON SPRINKLER SYSTEM.
- ALL WIRE SUPPORTS THAT WILL BE VISIBLY EXPOSED ARE TO BE USG 1/32" MULTI STRAND AIRCRAFT CABLE WITH LOOP AND GRIP END CONNECTION UNLESS OTHERWISE NOTED. VERIFY WITH ARCHITECT IN FIELD.
- USE COLOR MATCHED PLASTIC GROMMET FOR ALL PUNCTURES IN CEILING SURFACES.
- CALCULATE WEIGHTS AND LOADS OF SUSPENDED AND OVERHEAD ELEMENTS AND SUPPLY AND INSTALL WEIGHT TEST AND LOAD RATED STRUCTURAL COMPONENTS, CONNECTIONS AND ASSEMBLIES TO INSURE PROPER CODE COMPLIANT AND SUFFICIENT STRUCTURAL SUPPORT AND CAPACITY.
- PATCH AND REPAIR EXISTING GWB CEILINGS AS A RESULT OF REMOVAL OF EXISTING LIGHT FIXTURES AND/OR MECHANICAL EQUIPMENT.
- ALL NEW AND EXISTING GWB CEILING TO BE PAINTED IP-4. ANY EXPOSED STRUCTURE TO BE PAINTED IP-8.

KEYED NOTES

- LINE OF NEW TRACK FOR SECURITY GATE. REFER TO SPECIFICATION SECTION 08 3513 FOLDING SECURITY GRILLES.
- MATCH HEIGHT OF NEW CEILING TO EXISTING CEILING HEIGHT.
- PROVIDE SOFFIT COMPRISED OF 3-5/8" METAL STUD WITH RUNNER CHANNELS AT 12" O.C. AND 1 LAYER OF GYPSUM BOARD. TAPE, SPACKLE, AND FINISH AS SCHEDULED. HEIGHTS AS INDICATED.
- PROVIDE STAINLESS STEEL EXTENSION TO TOP OF HOOD TO EXTEND TO FINISHED CEILING TO CONCEAL ALL DUCT WORK AND SUPPORTS. COORDINATE WITH MILLWORK TO INSURE FIT.
- HEAT LAMPS MUST BE CENTERED OVER EQUIPMENT BELOW. COORDINATE WITH MILLWORK AND KITCHEN EQUIPMENT CONTRACTOR.
- EXISTING CEILING TO REMAIN. PATCH IN GWB BOARD TO MATCH EXISTING. TAPE, SPACKLE, AND FINISH BOUNDARY BETWEEN OLD AND NEW WORK.
- EXISTING HOOD. CLAD AS INDICATED. REFER TO DETAILS.

CEILING TYPES - BASIS OF DESIGN

REFER TO SPECIFICATION SECTION 09 5100 FOR INFORMATION.

TYPE 1	GWB CEILING 3-5/8" METAL STUD W/ 5/8" GYPSUM WALL BOARD, FINISHED & PAINTED AS SPECIFIED
TYPE 2	OPEN STRUCTURE, PAINTED COLOR TO BE SELECTED
TYPE 3	TILE: 2x2 SCRUBBABLE AND SOIL RESISTANT ARMSTRONG CERAMAGUARD LAY-IN GRID: ARMSTRONG 15/16" STANDARD PRELUDE XL
TYPE 4	TILE: 2x2 SMOOTH FINISH ARMSTRONG ULTIMA LAY-IN GRID: ARMSTRONG 15/16" STANDARD PRELUDE XL
TYPE 5	TILE: EXPANDED METAL, 2" x 2" ARMSTRONG METALWORKS MESH - WOVEN WIRE - 6129AM GRID: ARMSTRONG 15/16" STANDARD PRELUDE XL
TYPE 6	DECORATIVE WOOD CLOUD WITH LIVE EDGE WOOD ATTACHED TO STEEL SQUARE EXTRUSION MILLWORK
TYPE 7	DECORATIVE SOLID WOOD STICK CEILING ATTACHED TO STEEL SQUARE EXTRUSION MILLWORK

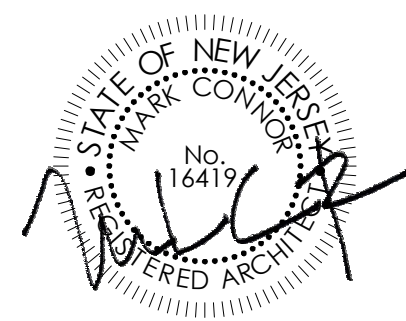
TYPE 6 CEILING CONSISTS OF:
LIVE EDGE VENEER BONDED PANELS.
NATURAL OAK SPECIES.
FINISHED WITH 18"W COATING IN COLOR TO BE SELECTED.
CLASS A FIRE RATED.
SQUARE EDGES TO BE EDGE BANDED WITH LIVE EDGING.
MAINTAIN APPROXIMATELY 2" GAP BETWEEN BOARDS.
MATCH EXISTING CONDITION IN RETAIL DINING.

TYPE 7 CEILING CONSISTS OF:
NATURAL MAPLE SPECIES.
FINISHED WITH 18"W COATING IN COLOR TO BE SELECTED.
CLASS A FIRE RATED COATING.

ABBREVIATIONS

ACT:	ACOUSTICAL CEILING TILE
GWB:	GYPSUM WALL BOARD

SEALED:



ARCHITECT:

CONNOR ARCHITECTURE
1456 Massachusetts Ave. | Lexington, MA 02420
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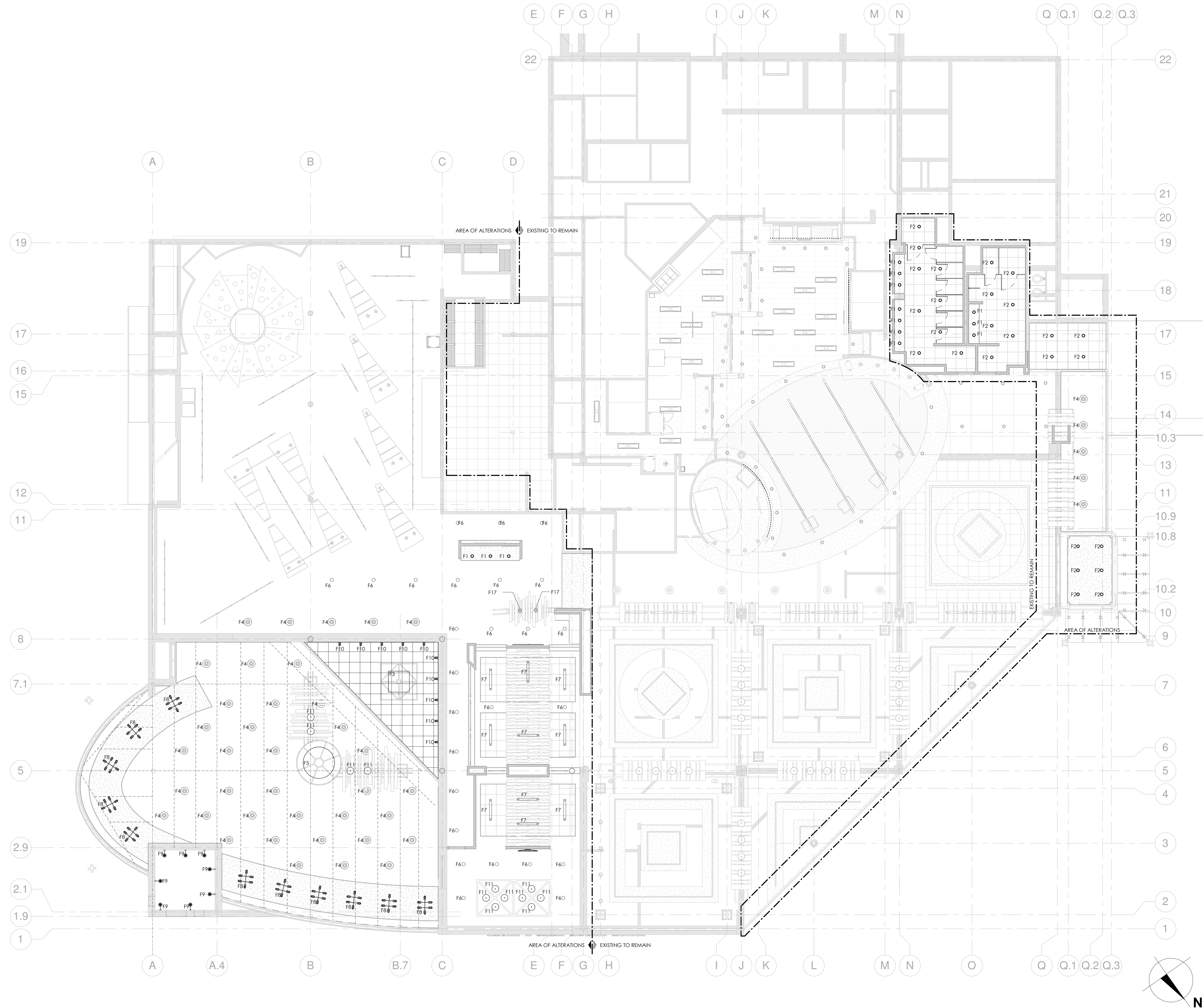


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I-200



1 LIGHTING PLAN
1/8" = 1'-0"

LIGHTING PLAN

FIXTURE TYPES	
F1	GENERAL: 4" LED RECESSED CAN COOPER LIGHTING - PORTFOLIO
F2	GENERAL: 6" LED RECESSED CAN COOPER LIGHTING - PORTFOLIO
F3	LARGE PENDANT IN HIGH CEILING BARBICAN - SQUARE DRUM 16-5048
F4	GENERAL: OVERSIZED PENDANT HI-LITE MFG. H-23438 ARIES COLLECTION
F5	LARGE PENDANT OVER ROUND BOOTH BARBICAN - ROUND DRUM 16-3160
F6	CYLINDRICAL PENDANT, CABLE MOUNT COOPER LIGHTING
F7	LINEAR PENDANT LIGHT TECH LIGHTING KNOX LINEAR SUSPENSION
F8	PENDANT LIGHT OVER SEATING HI-LITE MFG. H-MCGU5-6S - TELESCOPIC
F9	BARN LIGHT WALL SCONCE - TOWER HI-LITE MFG. H-18110 ANGLE SHADE W/ WALL MOUNT
F10	BARN LIGHT WALL SCONCE - HIGH CEILING HI-LITE MFG. H-LCGU-FB VAPOR JAR
F11	PENDANT OVER BAR SEATING HI-LITE MFG. H-1214 ARIAL
F12	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-2046 MINI PENDANT, CORD MOUNT
F13	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-7106 MINI PENDANT, CORD MOUNT
F14	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-15006 MINI PENDANT, CORD MOUNT
F15	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-16006 MINI PENDANT, CORD MOUNT
F16	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-19006 MINI PENDANT, CORD MOUNT
F17	DECORATIVE PENDANT OVER SERVERY MILLWORK HI-LITE MFG. H-EMC-06 MINI PENDANT, CORD MOUNT
F18	TRACK HEAD REPLACEMENT FOR EXISTING LIGHTOLIER LINE VOLTAGE SYSTEM SIMILAR TO PHILLIPS LIGHTING LED TRACK HEAD (FIXTURE MUST BE COMPATIBLE WITH EXISTING TRACK)

GENERAL NOTES

A. REFER TO ELECTRICAL PLANS AND SPECIFICATIONS FOR INFORMATION ON FIXTURES, CONNECTIONS, SWITCHING, ETC.

B. REFER TO PLAN DRAWINGS FOR ADDITIONAL DETAILS ON FOOD STATION CEILING SYSTEMS.

C. COORDINATE LIGHT FIXTURE HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.

D. COORDINATE HOOD LOCATIONS WITH MECHANICAL DRAWINGS.

E. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

F. PROVIDE COLOR MATCHED SPACER BETWEEN TRACK SYSTEM AND OVERHEAD CONSTRUCTION.

G. LIGHTING COLOR TO BE 3000K.

H. ARCHITECT TO SELECT ALL LIGHT FIXTURE FINISHES.

I. COORDINATE TRANSFORMER CONCEALMENT WITH SECTIONS AND DETAILS. REVIEW FINAL LOCATION WITH ARCHITECT.

J. CONTRACTOR TO COORDINATE THE INSTALLATION OF LIGHTING ON MILLWORK ELEMENTS. ELECTRICAL FEEDS, BOXES & SUPPORT STRUCTURES ARE TO BE CONCEALED WITHIN OR BEHIND MILLWORK. FULL COORDINATION BETWEEN ELECTRICAL CONTRACTOR & MILLWORK PROVIDER IS REQUIRED.

K. LIGHTING & OVERHEAD CANOPIES ARE NOT TO INTERFERE IN ANY WAY WITH INSTALLATION OF OPERATION OF FIRE PROTECTION SYSTEMS.

L. PROVIDE LED LAMPS WHERE POSSIBLE FOR ALL INCANDESCENT SOCKETS.

M. LAMPS OVER FOOD SERVICE MUST BE PROVIDED WITH SHATTER PROOF GLASS.

NJCA ELECTRONIC SUBMITTAL STAMP:

SEALED:

ARCHITECT:

ENGINEER:

REVISIONS

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CHECKED BY: AGK.

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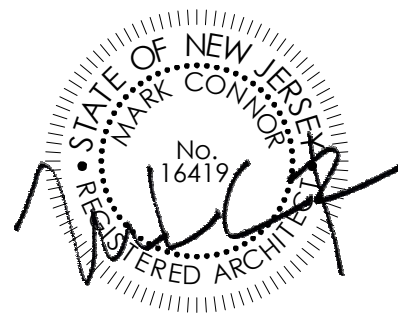
RAMAPO COLLEGE OF NEW JERSEY

WINDOW INSTALLATION

GENERAL NOTES

- A. EXCESSIVE CAULKING WILL NOT BE ACCEPTABLE. CAULK INSTALLATIONS SHALL BE CLEAN, CONCAVED, AND SMOOTH.
- B. ALL JOISTS IN HEAD, JAMB, AND SILLS SHALL BE PACKED SOLID WITH BATT INSULATION THAT MEETS THE INTENDED R-VALUE FOR THE INSULATION INDICATED TO BE INSTALLED IN THAT WALL.
- C. GAPS BETWEEN FRAME AND EDGE OF OPENING SHALL NOT EXCEED 1/4" IN WINDOWS AND STOREFRONT INSTALLATIONS, AND 1/2" IN CURTAINWALL INSTALLATIONS. PROVIDE BACKER RODS.
- D. CONTRACTOR IS REQUIRED TO REMOVE ALL EXCESS CAULK AND DEBRIS ON ADJACENT MATERIALS THAT IS A RESULT OF THE INSTALLATION.
- E. COORDINATE INSTALLATION OF RESCUE WINDOW STICKERS WITH THE OWNER AND ARCHITECT PRIOR TO THE INSTALLATION.
- F. ANY FIELD MODIFICATIONS TO THE WINDOW SYSTEMS SHALL BE TESTED FOR AIR AND WATER INFILTRATION -OR- AN OFFICIAL LETTER FROM THE MANUFACTURER INDICATING THAT THE FIELD MODIFICATIONS WILL NOT VIOLATE THE WINDOW WARRANTY SHALL BE PROVIDED TO THE OWNER AND ARCHITECT.
- G. ANY FIELD MODIFICATIONS THAT RESULT IN THE NATURAL ALUMINUM BEING VISIBLE SHALL RECEIVE A FINISH THAT MATCHES THE FINISH OF THE ALUMINUM WINDOW SYSTEM.
- H. RESCUE WINDOW SCREENS SHALL BE INSTALLED AS PER SPECIFICATION REQUIREMENTS WITH A CONTINUOUS HINGE AND MAGNETIC LOCKING DEVICE AND INTERIOR HANDLE. WINDOW MANUFACTURERS NOT BEING ABLE TO MEET THIS REQUIREMENT WILL BE CONSIDERED NOT EQUAL TO WINDOW MANUFACTURERS LISTED IN THE SPECIFICATIONS.
- I. ALL EXPOSED STEEL UNITS (INTERIOR AND EXTERIOR) SHALL BE PRIMED AND PAINTED, COLOR AS SELECTED BY ARCHITECT.

SEALED:



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REVISIONS

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WINDOW INFORMATION

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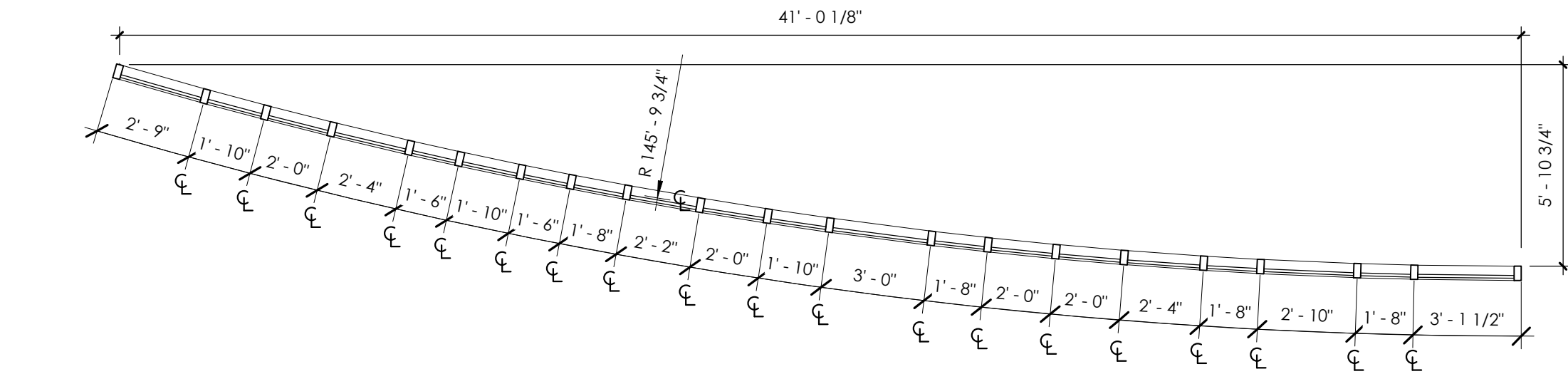


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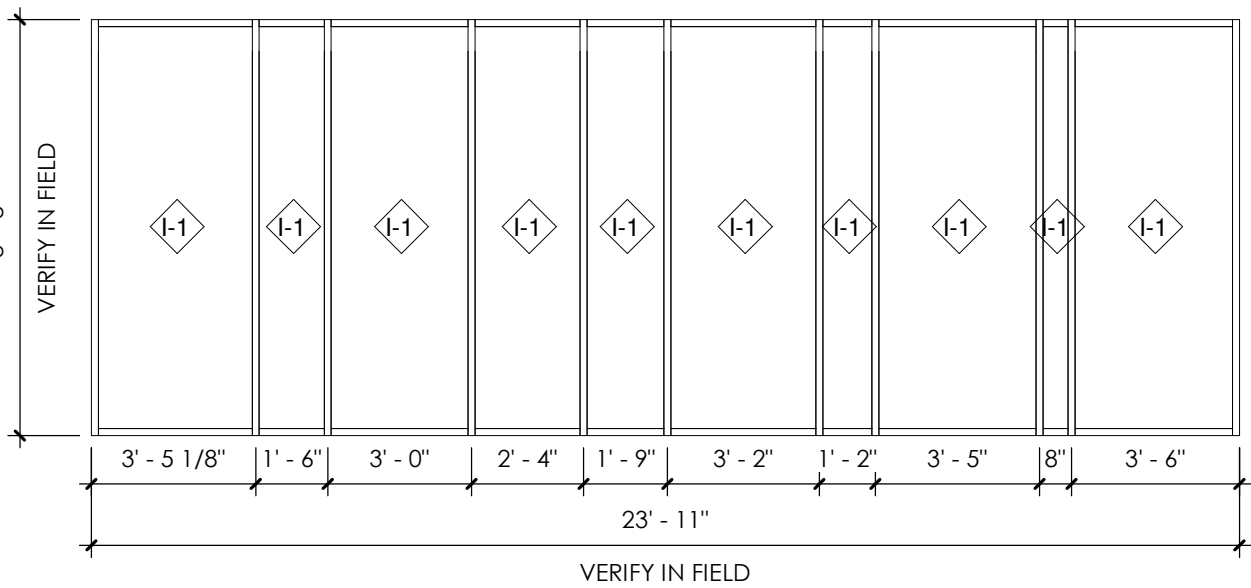
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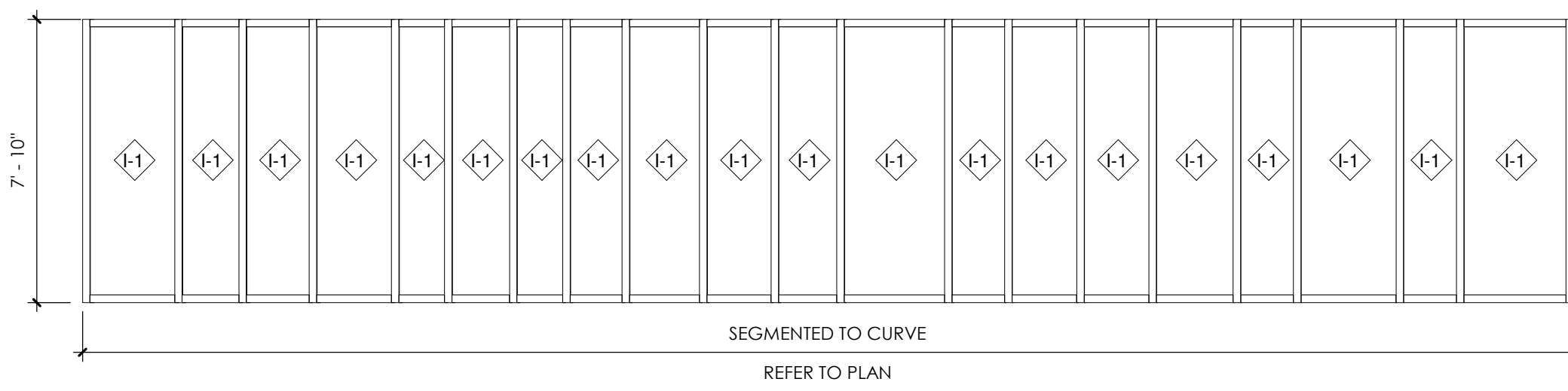
1 SF 3 PLAN

1/4" = 1'-0"



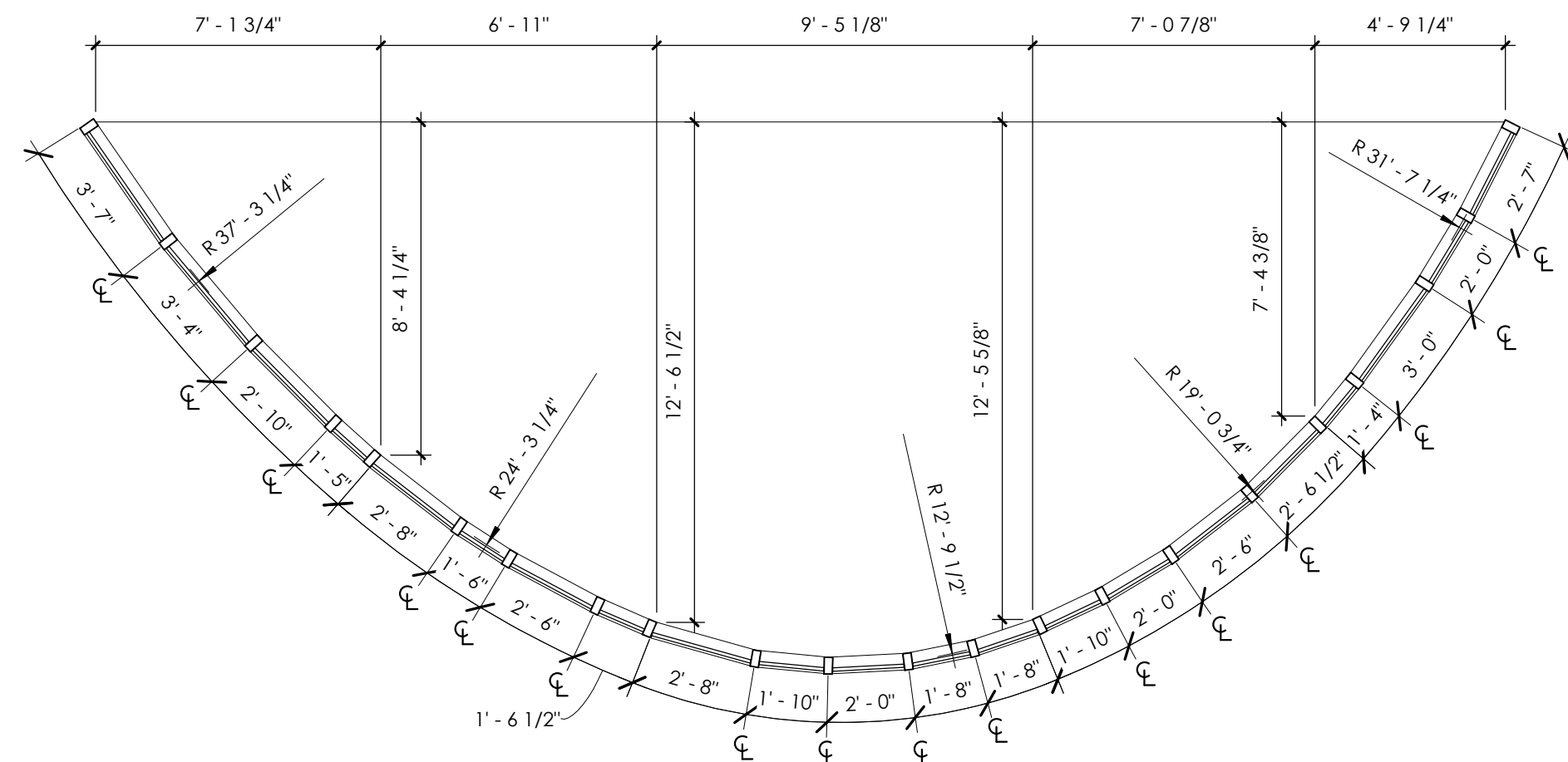
4 SF1

1/4" = 1'-0"



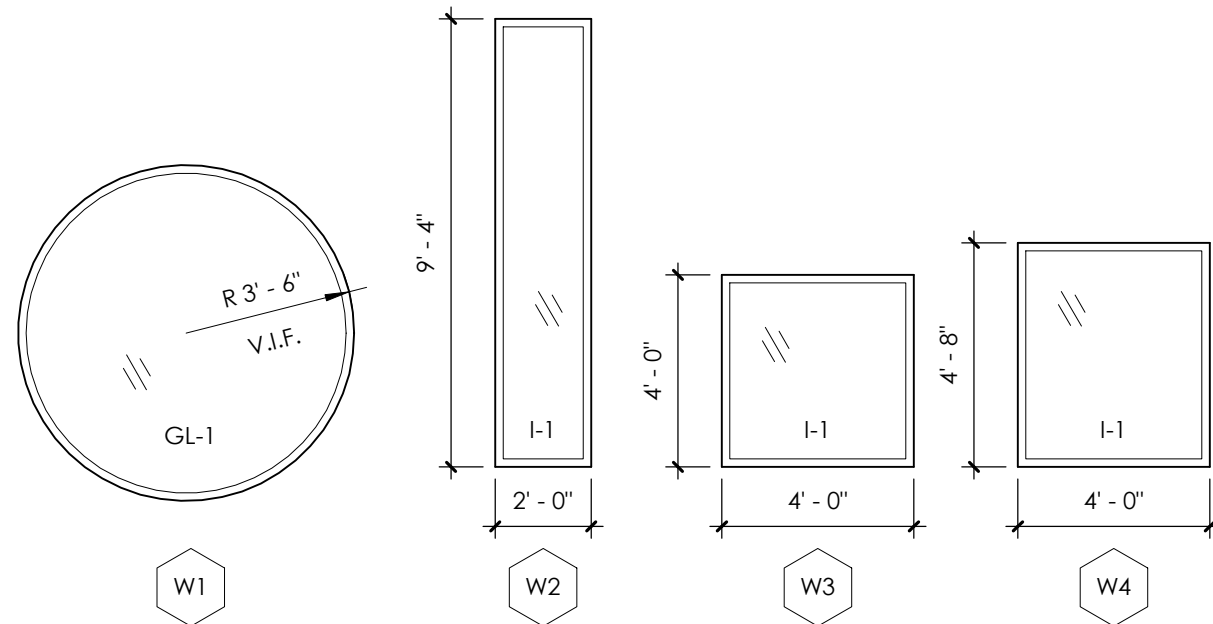
5 SF2

1/4" = 1'-0"



2 SF2 PLAN

1/4" = 1'-0"



GLAZING KEY

INTERIOR GLASS

GL-1

3/8" THICK TEMPERED CLEAR GLAZING

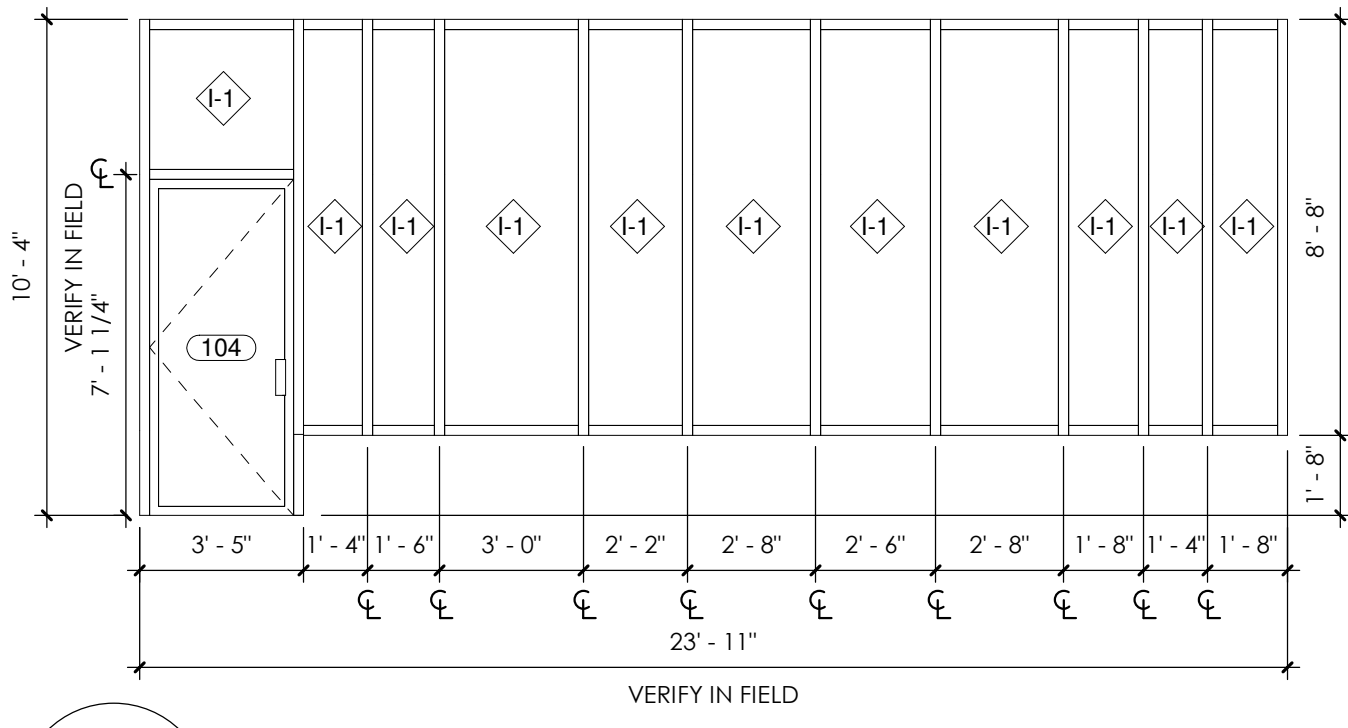
EXTERIOR GLASS

I-1

1" TEMPERED INSULATED TINTED GLASS

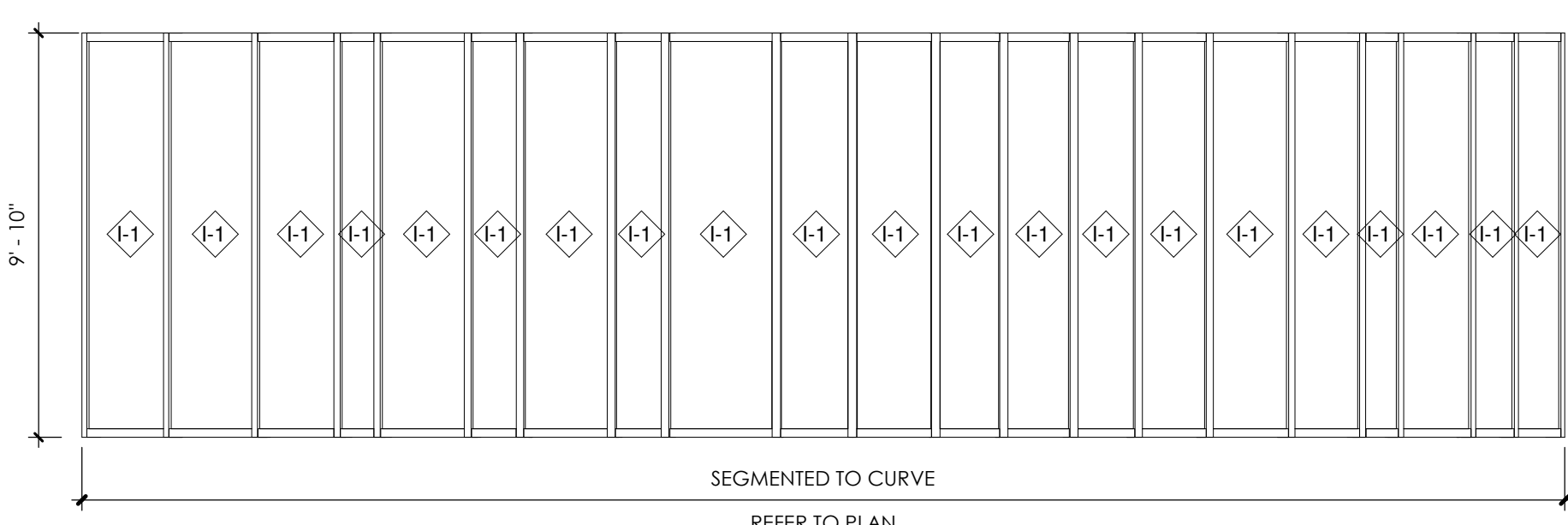
3 WINDOW TYPES - ELEVATION

1/4" = 1'-0"



6 SF4

1/4" = 1'-0"

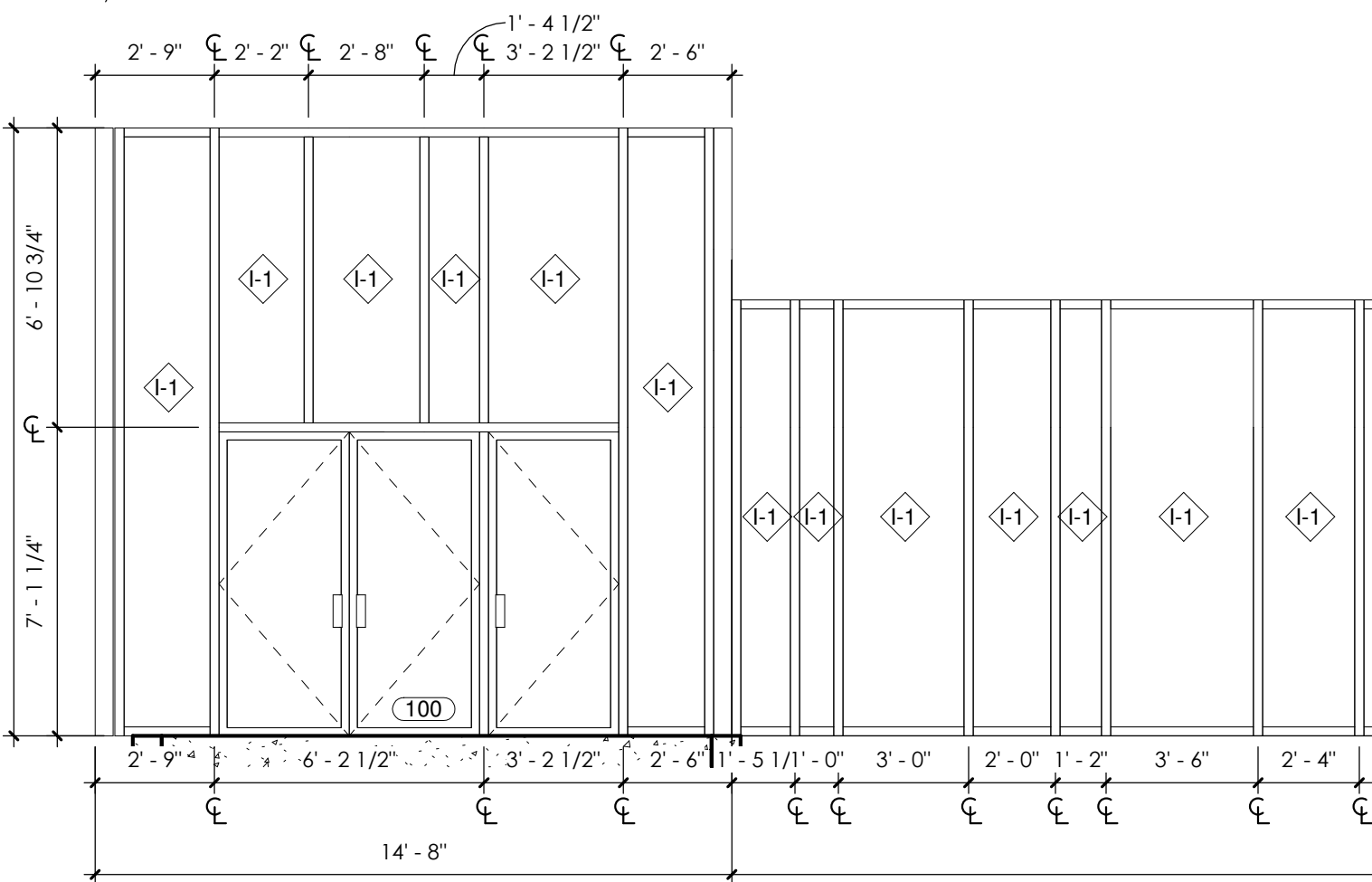


7 SF2

1/4" = 1'-0"

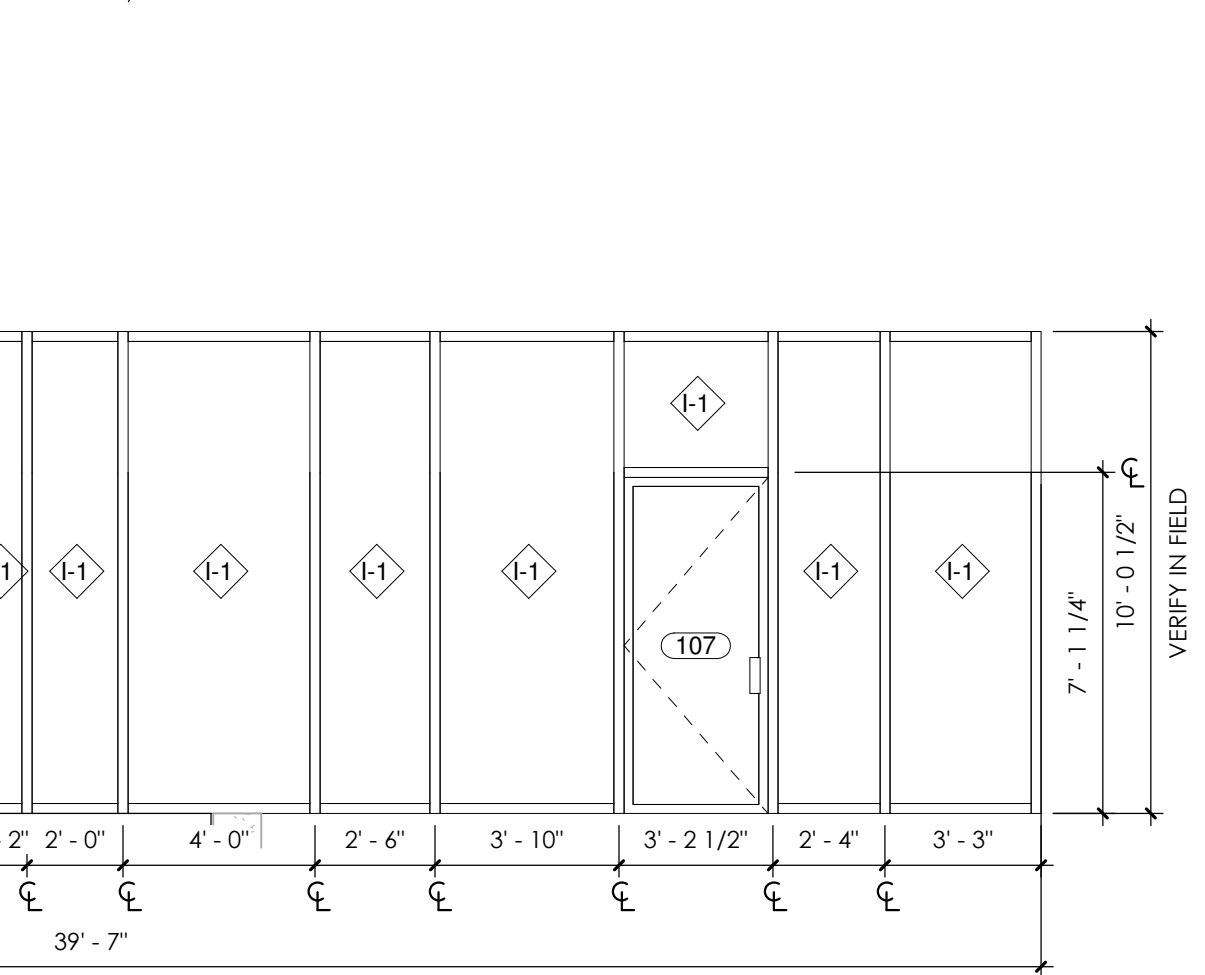
8 SF5

1/4" = 1'-0"



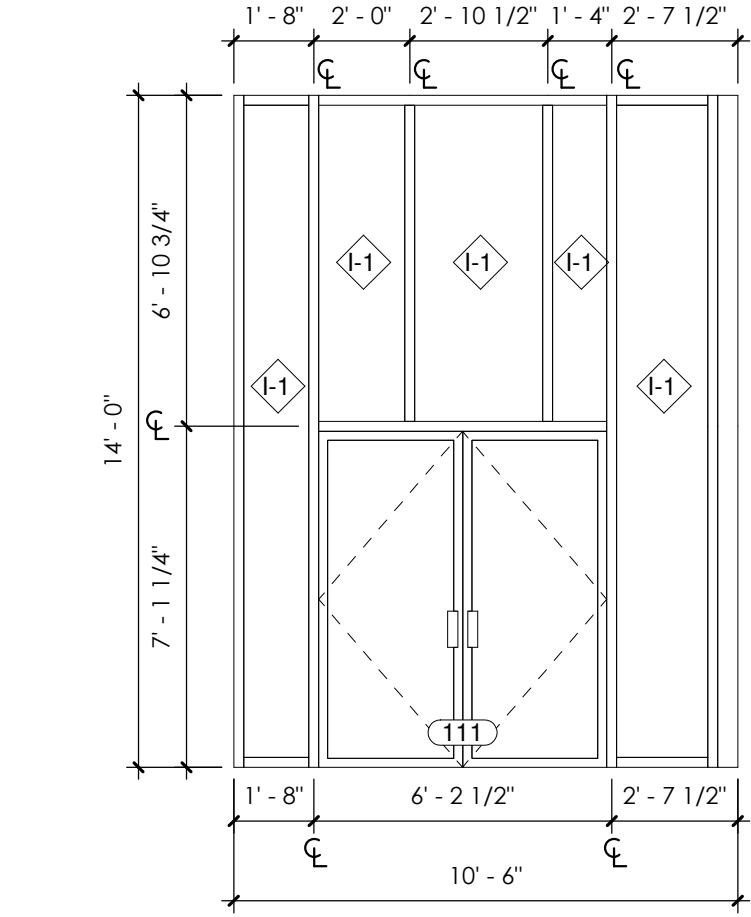
10 SF6

1/4" = 1'-0"



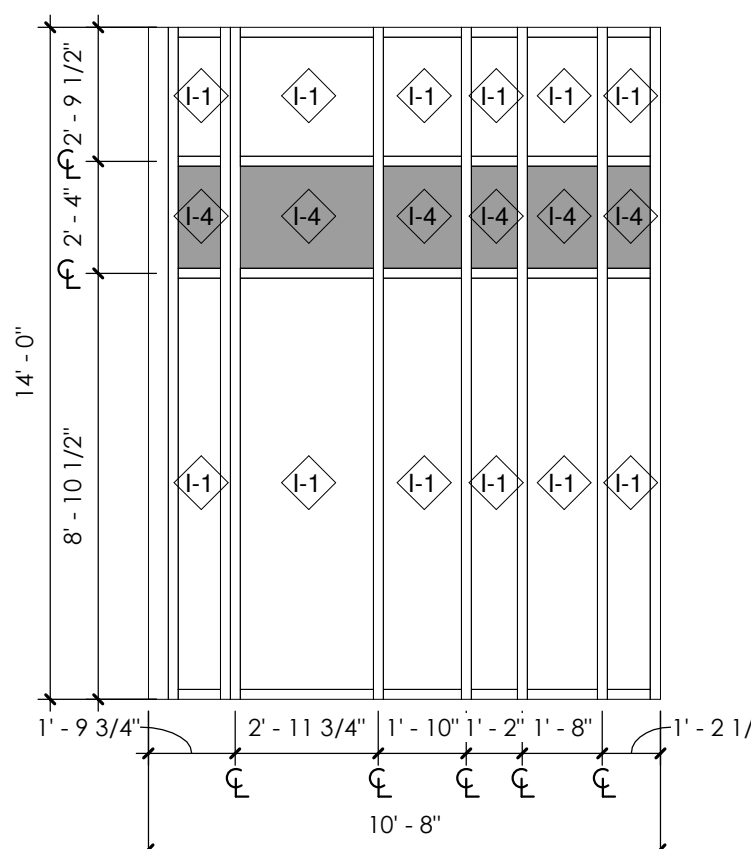
11 SF7

1/4" = 1'-0"



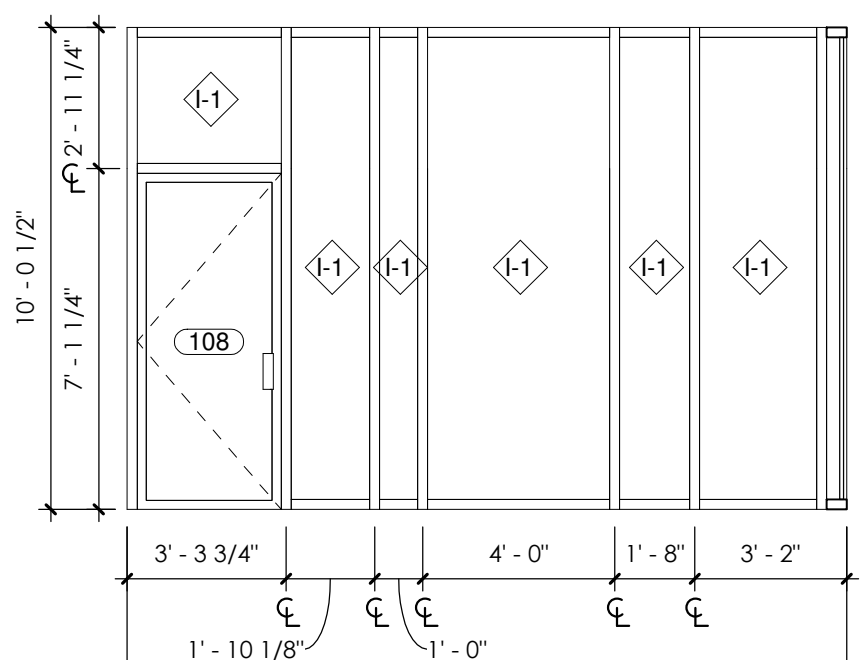
15 SF7A

1/4" = 1'-0"



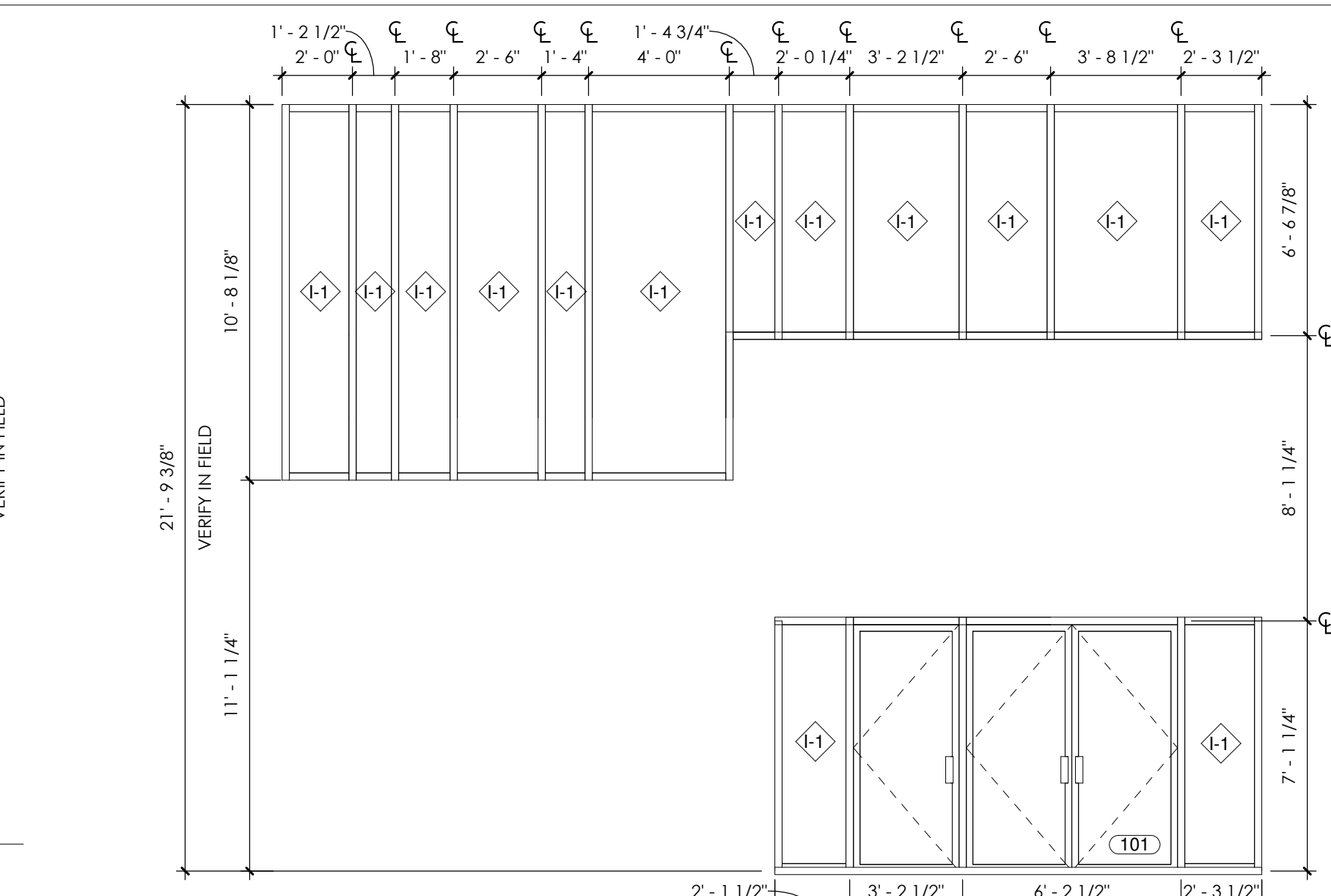
16 SF7C

1/4" = 1'-0"



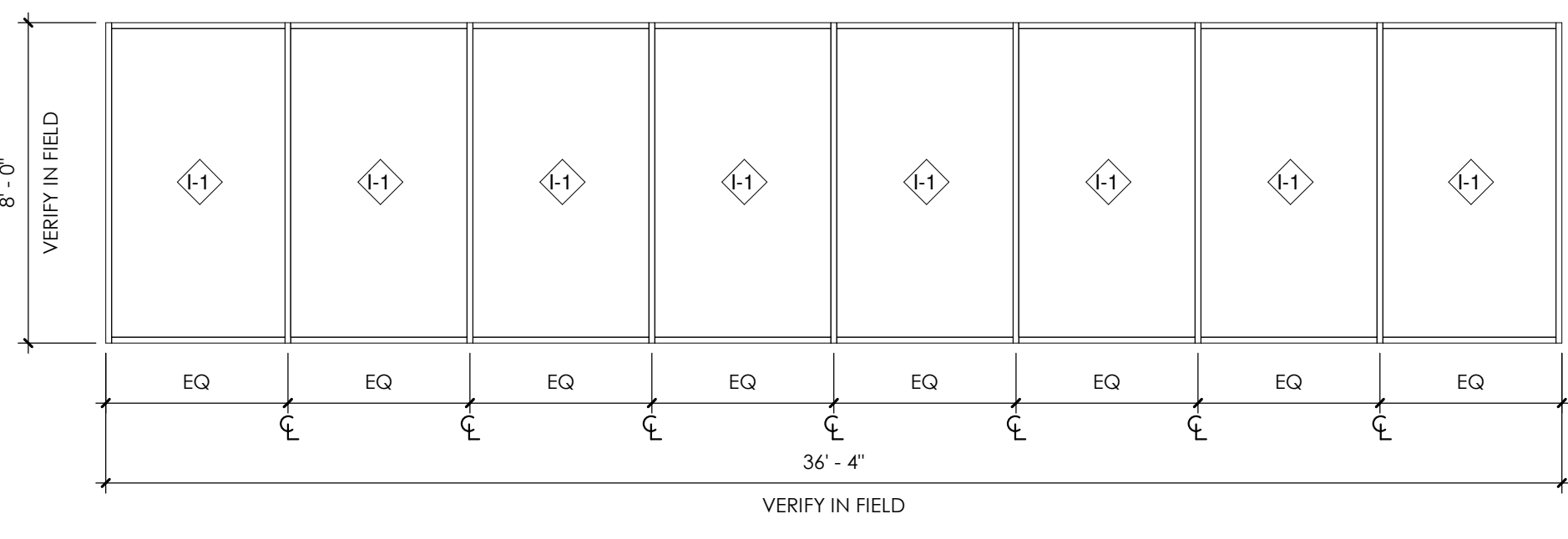
17 SF8

1/4" = 1'-0"



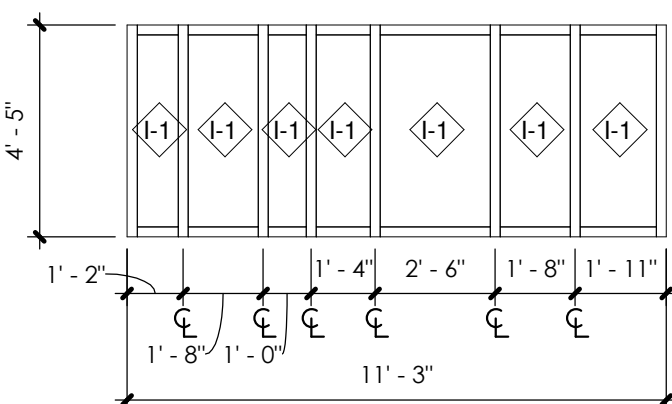
12 SF7B

1/4" = 1'-0"



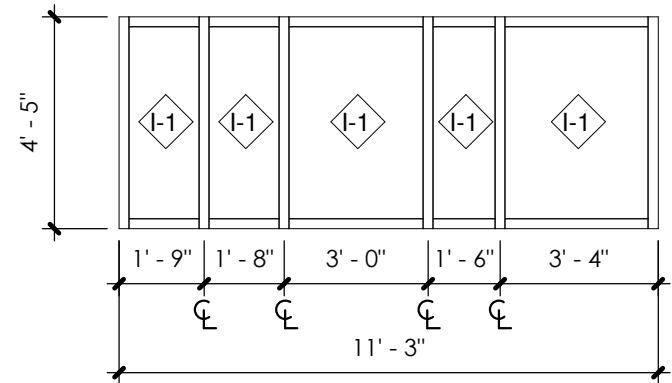
18 SF10

1/4" = 1'-0"



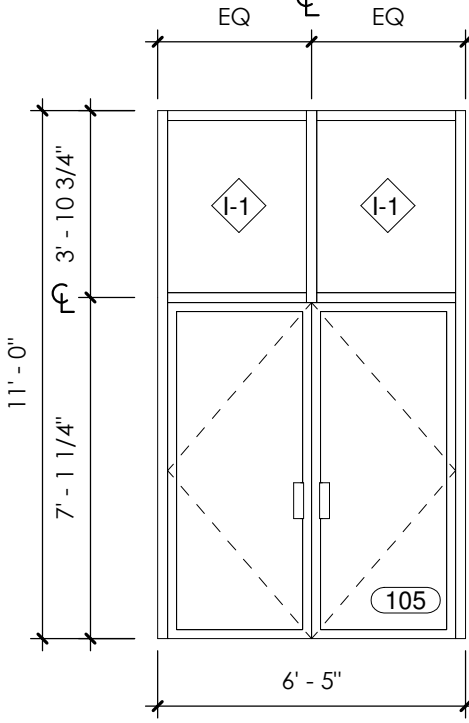
13 SF11

1/4" = 1'-0"



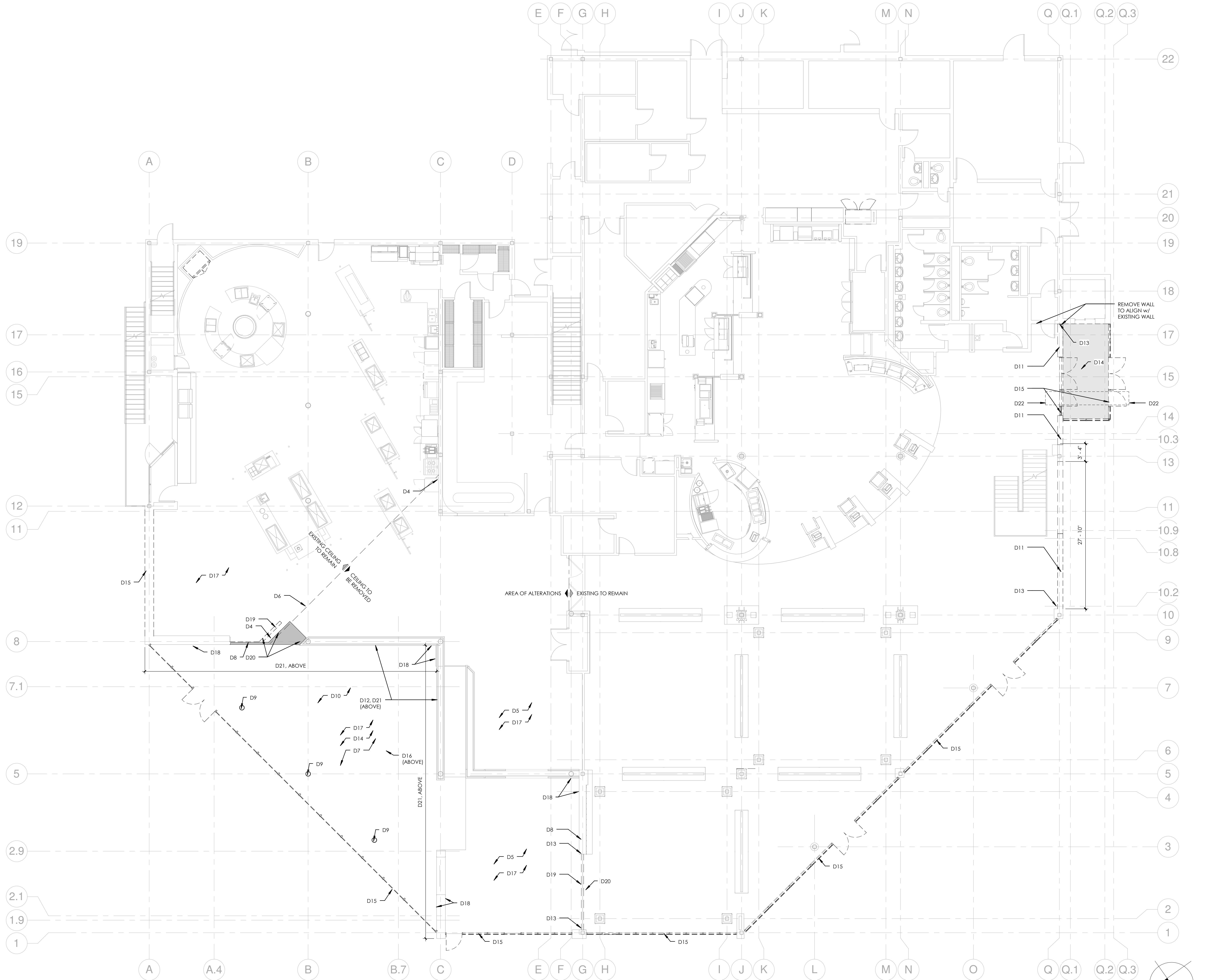
14 SF12

1/4" = 1'-0"



19 SF13

1/4" = 1'-0"



DEMOLITION

GENERAL NOTES

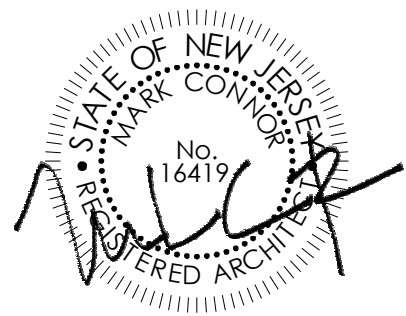
1. IDENTIFICATION AND/OR ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THIS SCOPE OF WORK. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY.
2. REFER TO SPECIFICATIONS FOR RECYCLING, CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL REQUIREMENTS.
3. WHERE FLOOR FINISHES ARE NOTED TO BE REMOVED, REMOVE ASSOCIATED ADHESIVES, SETTING BEDS, ETC. REMOVE LOOSE PAINT AND MISCELLANEOUS INCIDENTAL OBJECTS FROM WALLS AND CEILINGS AT AREAS WITHIN THE SCOPE OF WORK.
4. OPENINGS IN THE EXISTING STRUCTURE SMALLER THAN 12" IN ANY DIRECTION ARE NOT IDENTIFIED ON THESE DRAWINGS. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING OPENINGS SMALLER THAN 12" AS REQUIRED FOR INSTALLATION OF THEIR WORK.
5. OPENINGS IN THE EXISTING STRUCTURE SHALL NOT BE MADE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
6. DO NOT REMOVE ITEMS WHICH JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
7. PATCH EXISTING SLAB OPENINGS NOT BEING REUSED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
8. PROTECT ADJACENT AREAS AND ITEMS "TO REMAIN" DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ITEMS DAMAGED DURING CONSTRUCTION.
9. IF UNANTICIPATED HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE OWNERS REPRESENTATIVE IMMEDIATELY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
10. REVIEW W/ OWNER TO DETERMINE WHAT, IF ANYTHING, WILL BE REMOVED BY OWNER AND WHAT, IF ANYTHING, IS TO BE SALVAGED & TURNED OVER TO OWNER.
- 12.

KEYED NOTES

- D1.** REMOVE EXISTING METAL STUD & GYPSUM BOARD PARTITION FROM THE FLOOR TO THE UNDERSIDE OF DECK TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH OTHER TRADES.
- D2.** REMOVE EXISTING GLASS PARTITION, MASONRY, & ALL ASSOCIATED TRIM & BLOCKING FROM FIRST FLOOR FINISH FLOOR TO EXISTING MASONRY OPENING TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE REMOVALS WITH OTHER TRADES.
- D3.** REMOVE EXISTING DOOR, FRAME, & ASSOCIATED DOOR HARDWARE.
- D4.** PATCH & REPAIR WALL TO DECK ABOVE WHERE ADJACENT SOFFITS WERE REMOVED.
- D5.** REMOVE ALL EXISTING ACoustICAL CEILING SYSTEM IN ITS ENTIRETY INCLUDING ALL ASSOCIATED LIGHTING, MECHANICAL DIFFUSERS, FRAMING, BLOCKING, AND FASTENERS.
- D6.** REMOVE ALL EXISTING GYPSUM BOARD SOFFITS INCLUDING ALL ASSOCIATED FRAMING.
- D7.** REMOVE ALL EXISTING LIGHTING FIXTURES. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D8.** REMOVE EXISTING WOOD RAIL TRIM.
- D9.** REMOVE EXISTING COLUMN & COLUMN SURROUND.
- D10.** REMOVE EXISTING STRUCTURAL FRAME INCLUDING ALL BEAMS, JOISTS, FINISHES, ROOFING, & ALL OTHER MISC FRAMING & STRUCTURAL MEMBERS. EXISTING SLAB TO REMAIN. PATCH & REPAIR TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH OTHER TRADES.
- D11.** REMOVE EXISTING EXTERIOR WALL INCLUDING ALL MASONRY, STUD, WALL FINISHES, & UTILITIES. COORDINATE WITH OTHER TRADES.
- D12.** REMOVE EXISTING WOOD TRIM & ALL COVE LIGHTING.
- D13.** ALL EXISTING WALLS TO BE PATCHED & REPAIRED WHERE DAMAGED OR EXPOSED BY DEMOLITION.
- D14.** EXISTING FLOORING TO REMAIN. PATCH & REPAIR EXISTING AS REQUIRED FOR NEW FLOORING. MAKE NEW SURFACES FLUSH.
- D15.** REMOVE EXISTING EXTERIOR GLASS STOREFRONT & ALL ASSOCIATED TRIMS, DOOR HARDWARE, HANDRAILS/CHAIR RAILS, ETC. TO EXISTING OPENING TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE WITH OTHER TRADES.
- D16.** REMOVE ALL EXISTING TRACK LIGHTING FIXTURES. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D17.** REMOVE EXISTING FURNITURE. COORDINATE REMOVALS WITH OWNER.
- D18.** REMOVE ALL EXISTING TILE WALL BASE.
- D19.** REMOVE INTERIOR GLASS WALL & ALL ASSOCIATED TRIM, FRAMING, BLOCKING, & FASTENERS.
- D20.** REMOVE PAINTED METAL HANDRAIL.
- D21.** REPAIR AND REPOINT EXISTING BRICK DAMAGED DURING REMOVAL OF ROOF, STRUCTURE, AND WOOD FRAMED COVE LIGHTING.
- D22.** REMOVE AND PATCH PRESSURE MAT IN VESTIBULE AND ATRIUM. MAKE SURFACE FLUSH TO INFILL WITH NEW FLOOR TILE.

--- DASHED LINES REPRESENT THE REMOVAL OF ALL WALLS, DOORS, WINDOWS, INTERIOR PARTITIONS, FINISHES, AND CEILINGS.

SEALED:



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DRAWN BY: AGK/JNC
CHECKED BY: JNC

DEMOLITION PLAN

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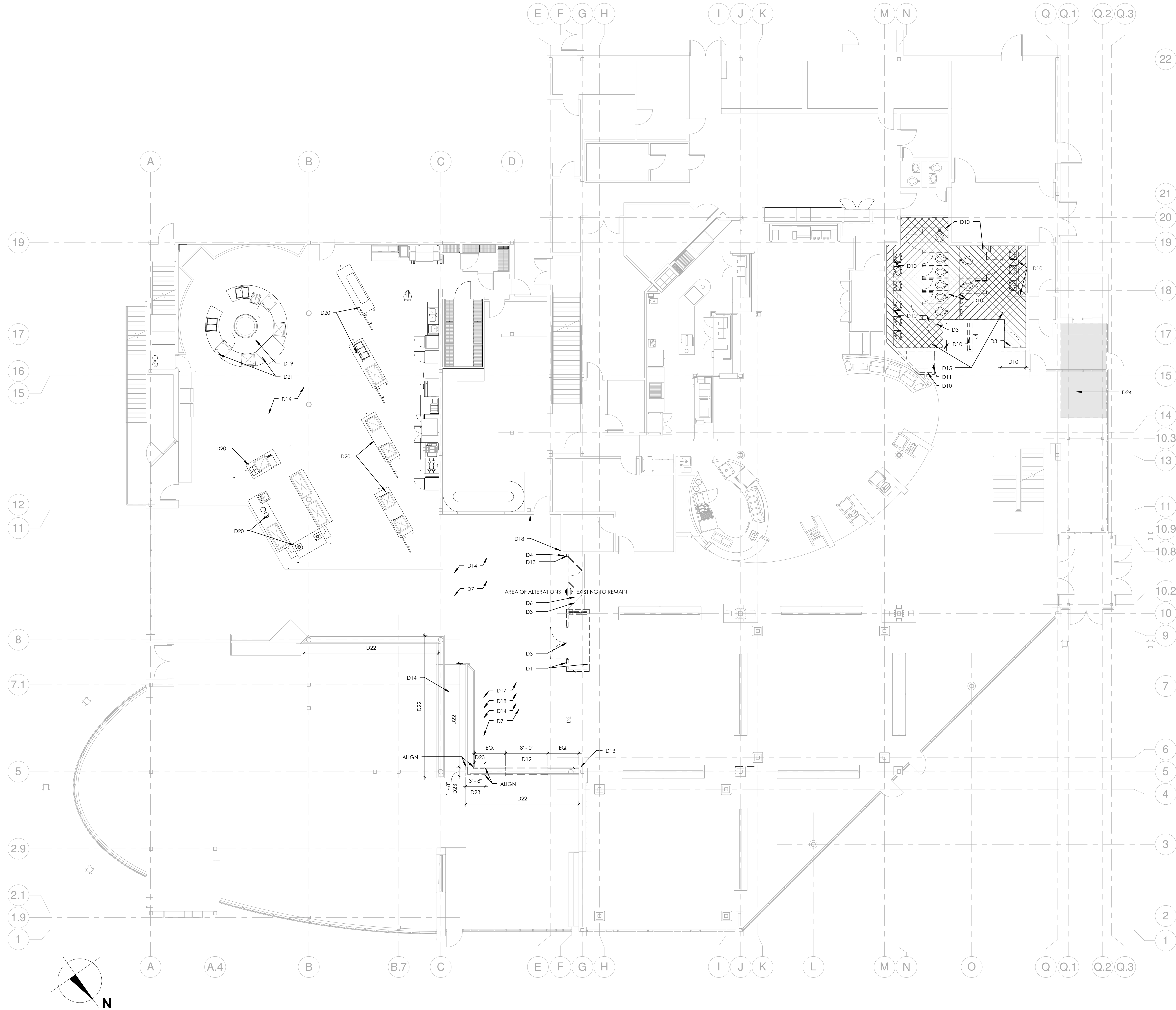


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1 FLOOR PLAN - INTERIOR - DEMOLITION
1/8" = 1'-0"

DEMOLITION

GENERAL NOTES

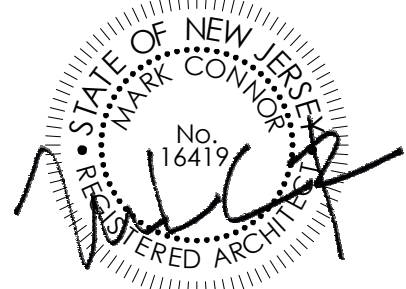
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- REFER TO SPECIFICATIONS FOR RECYCLING, CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL REQUIREMENTS.
- WHERE FLOOR FINISHES ARE NOTED TO BE REMOVED, REMOVE ASSOCIATED ADHESIVES, SETTING BEDS, ETC.
- REMOVE LOOSE PAINT AND MISCELLANEOUS INCIDENTAL OBJECTS FROM WALLS AND CEILINGS AT AREAS WITHIN THE SCOPE OF WORK.
- OPENINGS IN THE EXISTING STRUCTURE SMALLER THAN 12" IN ANY DIRECTION ARE NOT IDENTIFIED ON THESE DRAWINGS. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING OPENINGS SMALLER THAN 12" AS REQUIRED FOR INSTALLATION OF THEIR WORK.
- OPENINGS IN THE EXISTING STRUCTURE SHALL NOT BE MADE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- DO NOT REMOVE ITEMS WHICH JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
- PATCH EXISTING SLAB OPENINGS NOT BEING REUSED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
- PROTECT ADJACENT AREAS AND ITEMS "TO REMAIN" DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ITEMS DAMAGED DURING CONSTRUCTION.
- IF UNANTICIPATED HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
- REVIEW W/ OWNER TO DETERMINE WHAT, IF ANYTHING, WILL BE REMOVED BY OWNER AND WHAT, IF ANYTHING, IS TO BE SALVAGED & TURNED OVER TO OWNER.

KEYED NOTES

- D1.** REMOVE EXISTING METAL STUD & GYPSUM BOARD PARTITION FROM THE FLOOR TO THE UNDERSIDE OF DECK TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D2.** REMOVE EXISTING METAL STUD & GYPSUM BOARD PARTITION FROM THE FLOOR TO THE UNDERSIDE OF EXISTING MASONRY OPENING TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D3.** REMOVE EXISTING DOOR, FRAME, & ASSOCIATED DOOR HARDWARE.
- D4.** PATCH & REPAIR WALL TO DECK ABOVE WHERE ADJACENT SOFFITS WERE REMOVED.
- D5.** REMOVE ALL EXISTING ACoustICAL CEILING SYSTEM IN ITS ENTIRETY INCLUDING ALL ASSOCIATED LIGHTING, MECHANICAL DIFFUSERS, FRAMING, BLOCKING, AND FASTENERS.
- D6.** REMOVE ALL EXISTING GYPSUM BOARD SOFFITS INCLUDING ALL ASSOCIATED FRAMING.
- D7.** REMOVE ALL EXISTING LIGHTING FIXTURES. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D8.** REMOVE EXISTING WOOD RAIL TRIM.
- D9.** REMOVE EXISTING COLUMN SURROUND.
- D10.** REMOVE EXISTING CMU & WALL TILE PARTITION FROM THE FLOOR TO THE UNDERSIDE OF DECK TO ACCOMMODATE NEW CONSTRUCTION. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D11.** REMOVE EXISTING FIRE CABINET. COORDINATE DISCONNECTS WITH OTHER TRADES & PREPARE STANDPIPE FOR RELOCATION.
- D12.** REMOVE EXISTING WOOD PLANTER BOX, CMU & BRICK KNEE WALL TO ACCOMMODATE NEW FIREPLACE CONSTRUCTION.
- D13.** ALL EXISTING WALLS TO BE PATCHED & REPAIRED WHERE DAMAGED OR EXPOSED BY DEMOLITION.
- D14.** EXISTING FLOORING TO REMAIN. PATCH & REPAIR EXISTING AS REQUIRED FOR NEW FLOORING.
- D15.** REMOVE ALL BATHROOM FIXTURES, ACCESSORIES, CEILINGS, LIGHTING, PARTITIONS, ETC. COORDINATE WITH OTHER TRADES.
- D16.** EXISTING FLOORING TO REMAIN. PATCH & REPAIR EXISTING AS REQUIRED FOR NEW FLOORING. PREPARE FOR NEW FINISHES & FIXTURES.
- D17.** REMOVE ALL EXISTING TRACK LIGHTING FIXTURES. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D18.** REMOVE EXISTING FURNITURE. COORDINATE REMOVALS WITH OWNER.
- D19.** REMOVE ALL EXISTING TILE WALL BASE.
- D20.** REMOVE INTERIOR GLASS WALL & ALL ASSOCIATED TRIM, FRAMING, BLOCKING, & FASTENERS.
- D21.** REMOVE ALL EXISTING BUTCHER BLOCK, COUNTERTOPS. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D22.** REMOVE ALL EXISTING PLASTIC LAMINATE COUNTERTOPS. COORDINATE DISCONNECTS WITH OTHER TRADES.
- D23.** REMOVE ALL STONE CHIPS & METAL RAILING FROM PLANTERS. COORDINATE W/ OWNER FOR REMOVAL & STORAGE OF PLANTS TO REMAIN.
- D24.** REMOVE EXISTING WOOD PLANTER BOX & BLOCKING TO ACCOMMODATE NEW FIREPLACE CONSTRUCTION.
- D25.** LOCATION OF OLD BLUE STONE FLOOR. THIS FLOOR MUST BE MADE TO ACCEPT NEW FLOOR FINISHES LEVEL WITH SURROUNDING MATERIALS.

--- DASHED LINES REPRESENT THE REMOVAL OF ALL WALLS, DOORS, WINDOWS, INTERIOR PARTITIONS, FINISHES, AND CEILINGS.

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REVISIONS

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INTERIOR DEMOLITION PLAN

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RCU No. 2014-37-01C PHASE 2: ALTERATIONS & ADDITIONS

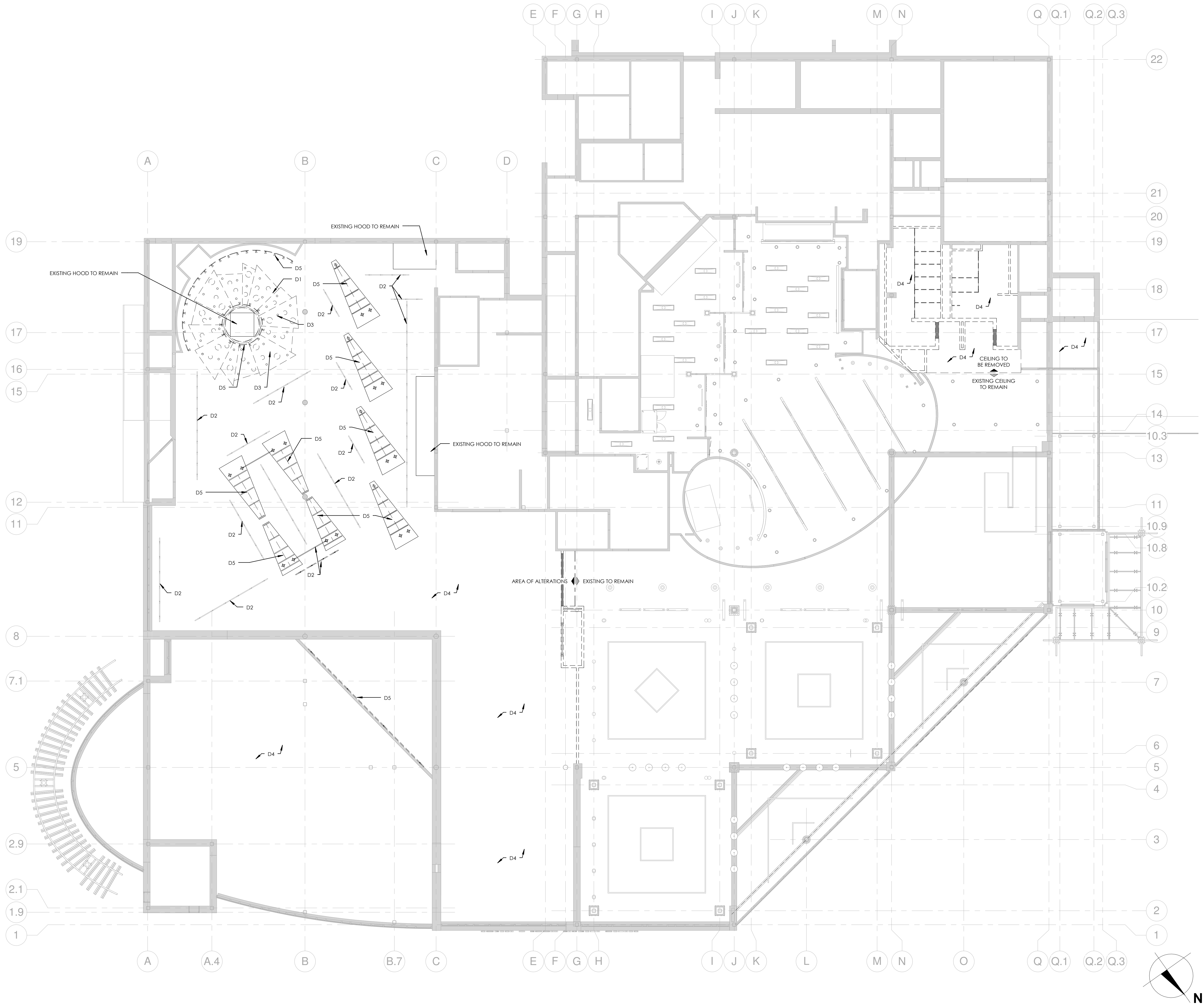


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03.24.2016

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SHEET:

ID-100



1 REFLECTED CEILING PLAN - DEMOLITION
1/8" = 1'-0"

DEMOLITION

GENERAL NOTES

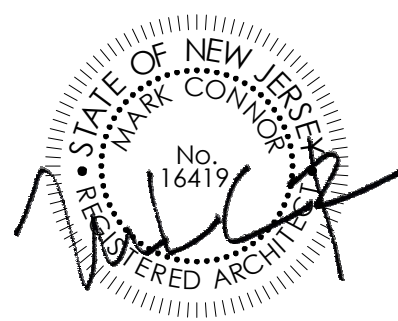
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3. WHERE FLOOR FINISHES ARE NOTED TO BE REMOVED, REMOVE ASSOCIATED ADHESIVES, SETTING BEDS, ETC.
4. REMOVE LOOSE PAINT AND MISCELLANEOUS INCIDENTAL OBJECTS FROM WALLS AND CEILINGS AT AREAS WITHIN THE SCOPE OF WORK.
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7. DO NOT REMOVE ITEMS WHICH JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY.
8. PATCH EXISTING SLAB OPENINGS NOT BEING REUSED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
9. PROTECT ADJACENT AREAS AND ITEMS "TO REMAIN" DURING DEMOLITION/CONSTRUCTION. REPAIR/REPLACE ITEMS DAMAGED DURING CONSTRUCTION.
10. IF UNANTICIPATED HIDDEN ELEMENTS OR DETERIORATED ELEMENTS ARE ENCOUNTERED, NOTIFY THE OWNERS REPRESENTATIVE IMMEDIATELY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL DEMOLITION WORK.
11. REVIEW W/ OWNER TO DETERMINE WHAT, IF ANYTHING, WILL BE REMOVED BY OWNER AND WHAT, IF ANYTHING, IS TO BE SALVAGED & TURNED OVER TO OWNER.

KEYED NOTES

- D1.** REMOVE PLASTIC LAMINATE OVERHEAD STRUCTURE & ALL CONNECTIONS TO DECK ABOVE.
D2. EXISTING TRACK LIGHTING TO REMAIN. REPLACE HEADS WITH NEW. REFER TO ELECTRICAL DRAWINGS.
D3. REMOVE PENDANT LIGHTING. COORDINATE DISCONNECTS WITH OTHER TRADES. REFER TO ELECTRICAL DRAWINGS.
D4. REMOVE CEILING, LIGHTING, & DIFFUSERS. COORDINATE DISCONNECTS WITH OTHER TRADES.
D5. EXISTING TRACK LIGHTING TO BE REMOVED. KEEP WIRE CONNECTIONS FOR USE WITH NEW FIXTURES WHERE POSSIBLE. REFER TO ELECTRICAL DRAWINGS.

DASHED LINES REPRESENT THE REMOVAL OF ALL WALLS, DOORS, WINDOWS, INTERIOR PARTITIONS, FINISHES, AND CEILINGS.

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DEMOLITION CEILING PLAN

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ALTERATION

GENERAL NOTES

- A. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO THE START OF CONSTRUCTION.
- B. ALL DIMENSIONS GIVEN ARE TO THE FACE OF CONCRETE MASONRY UNIT (CMU) OR TO FACE OF GYPSUM WALLBOARD/METAL STUD CONSTRUCTION, UNLESS NOTED OTHERWISE.
- C. FOR PARTITION ASSEMBLY TYPES REFER TO DRAWING A001. ALL DOORS ARE TO BE LOCATED 4" FROM WALL TO DOOR JAMB OPENING UNLESS OTHERWISE NOTED.
- D. CONTRACTOR IS RESPONSIBLE FOR BRACING/STABILIZING EXISTING WALLS AND STRUCTURE DURING CONSTRUCTION (SPECIFICALLY AT NEW DOOR LOCATIONS), ATTACH FRAME WITH TAPCON FASTENERS.
- E. PATCH ALL OPENINGS IN NEW/EXISTING WALLS WHERE MECHANICAL OR PLUMBING EQUIPMENT HAS BEEN REMOVED. INFILL WITH LIKE MATERIAL, BLEND & SMOOTH TO MATCH EXISTING ADJACENT CONDITIONS.
- F. PATCH ALL HOLES IN MASONRY WALLS AND GYPSUM WALL BOARD RESULTING FROM DEMOLITION AND REMOVAL. INFILL WITH LIKE MATERIAL, BLEND & SMOOTH TO MATCH EXISTING ADJACENT CONDITIONS.
- G. FIRE STOPPING MATERIAL SHALL BE INSTALLED AROUND ALL NEW AND EXISTING PIPES, DUCTS, CONDUITS OR OTHER PENETRATIONS IN FIRE PARTITION, FIRE BARRIER AND FIRE WALLS. TYPICAL FIRE STOPPING MATERIAL SHALL BE INSTALLED AT JUNCTION OF NEW WALLS, FLOOR DECK AND/OR ROOF DECK. REFER TO DRAWING G100 FOR FIRE RESISTANCE RATING OF ALL WALLS.
- H. REFER TO ROOM FINISH PLAN FOR ALL FINISHES AND LOCATIONS.
- I. ALL GYPSUM WALLBOARD INSTALLED OVER NEW OR EXISTING WALLS SHALL EXTEND 6" ABOVE FINISH CEILING.
- J. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR COORDINATION OF ALL EQUIPMENT.
- K. COORDINATE ALL ELECTRICAL ITEMS WITH CASEWORK DRAWINGS FOR ALL ELECTRICAL COORDINATION CUT OUTS.
- L. VERIFY LOCATION OF NEW KITCHEN EQUIPMENT FOR PLACEMENT AND UTILITY CONNECTIONS. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR INFORMATION.
- M. REFER TO A1505 FOR PLAN DETAILS.
- N. PATCH FLOORS WHERE WALLS HAVE BEEN DEMOLISHED TO MATCH EXISTING SLAB ELEVATION AND PREP FOR NEW FLOOR FINISH. REFER TO FLOORING DRAWINGS FOR NEW FLOOR FINISHES.
- O. PROVIDE BLOCKING IN WALLS TO INSTALL WALL MOUNTED EQUIPMENT (CASEWORK & ACCESSORIES).
- P. REFER TO DRAWING A001 FOR DOOR AND WINDOW INFORMATION.

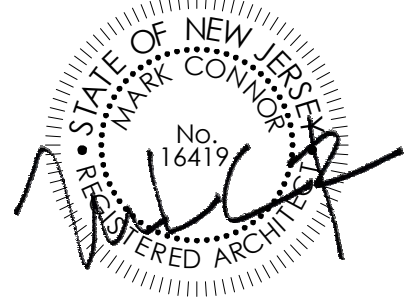
KEYED NOTES

- A1. NEW WINDOW INFILL IN EXISTING CIRCULAR OPENING. REFER TO A-002 FOR MORE INFORMATION.
- A2. FLOOR INFILL AT EXISTING STAIR. REFER TO STRUCTURAL DRAWINGS.
- A3. NEW CONCRETE STAIR. REFER TO I-103 FOR FINISH EQUIPMENT (CASEWORK & ACCESSORIES).
- A4. PAINTED STEEL EXTERIOR COLUMN. REFER TO A-302. STRUCTURAL DWGS. & LANDSCAPING DWGS.

LEGEND

- INDICATES HANDICAP ACCESSIBILITY
- INDICATES LOCATION OF EXITS
- INDICATES LOCATION OF NEW FX-K - FOR KITCHEN GREASE FIRES-WET CHEMICAL TYPE
- INDICATES FIRE EXTINGUISHERS
- EXISTING PULL STATION
- EXISTING STROBE
- INDICATES TRAVEL DISTANCE
- INDICATES EXIT WIDTHS
- INDICATES ROOM OCCUPANT LOAD
- INDICATES TRAVEL DISTANCE
- INDICATES 1 HOUR MINIMUM FIREWALL
- INDICATES 2 HOUR MINIMUM FIREWALL

SEALED:



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REVISIONS

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FLOOR PLAN - NOTED

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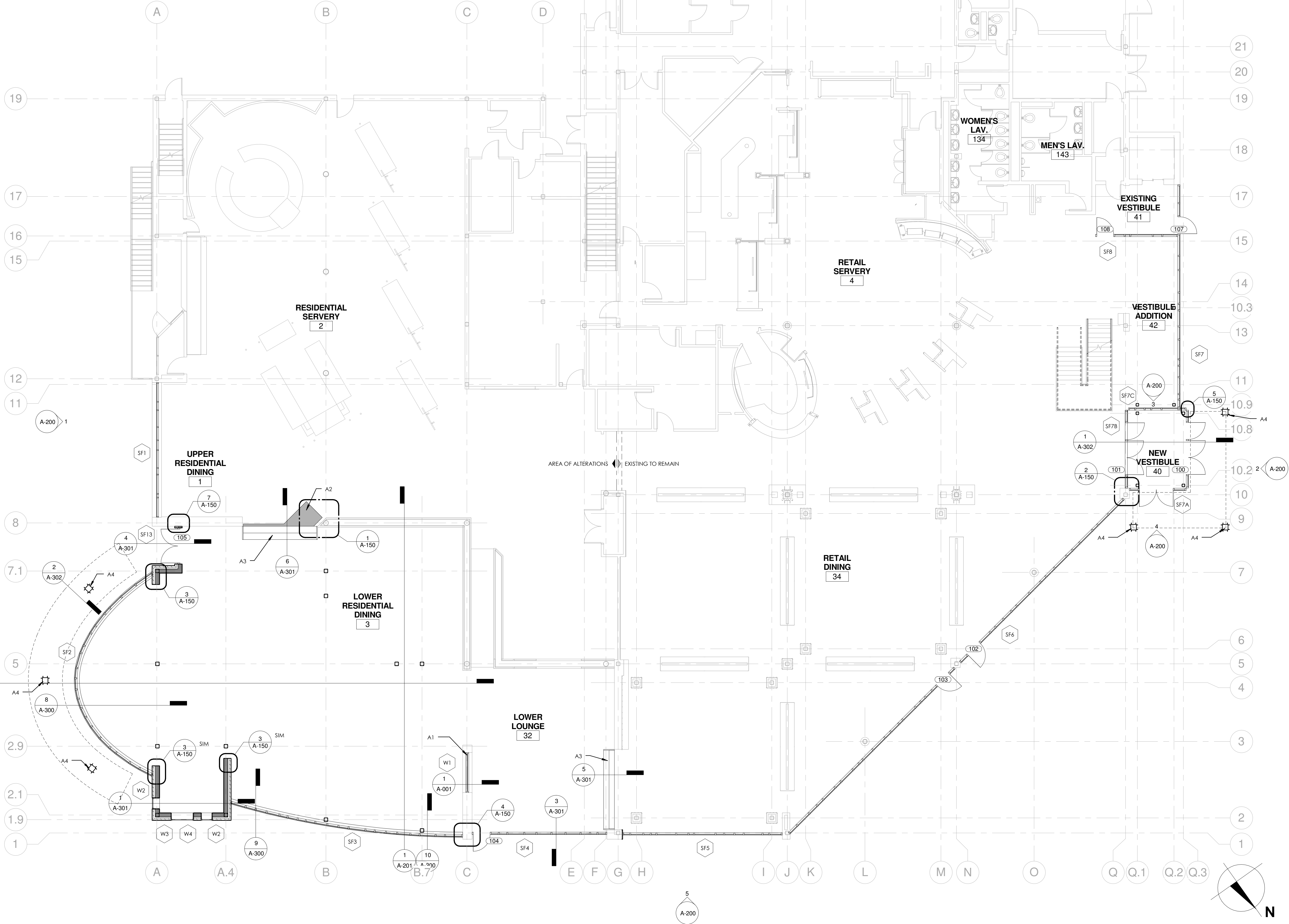
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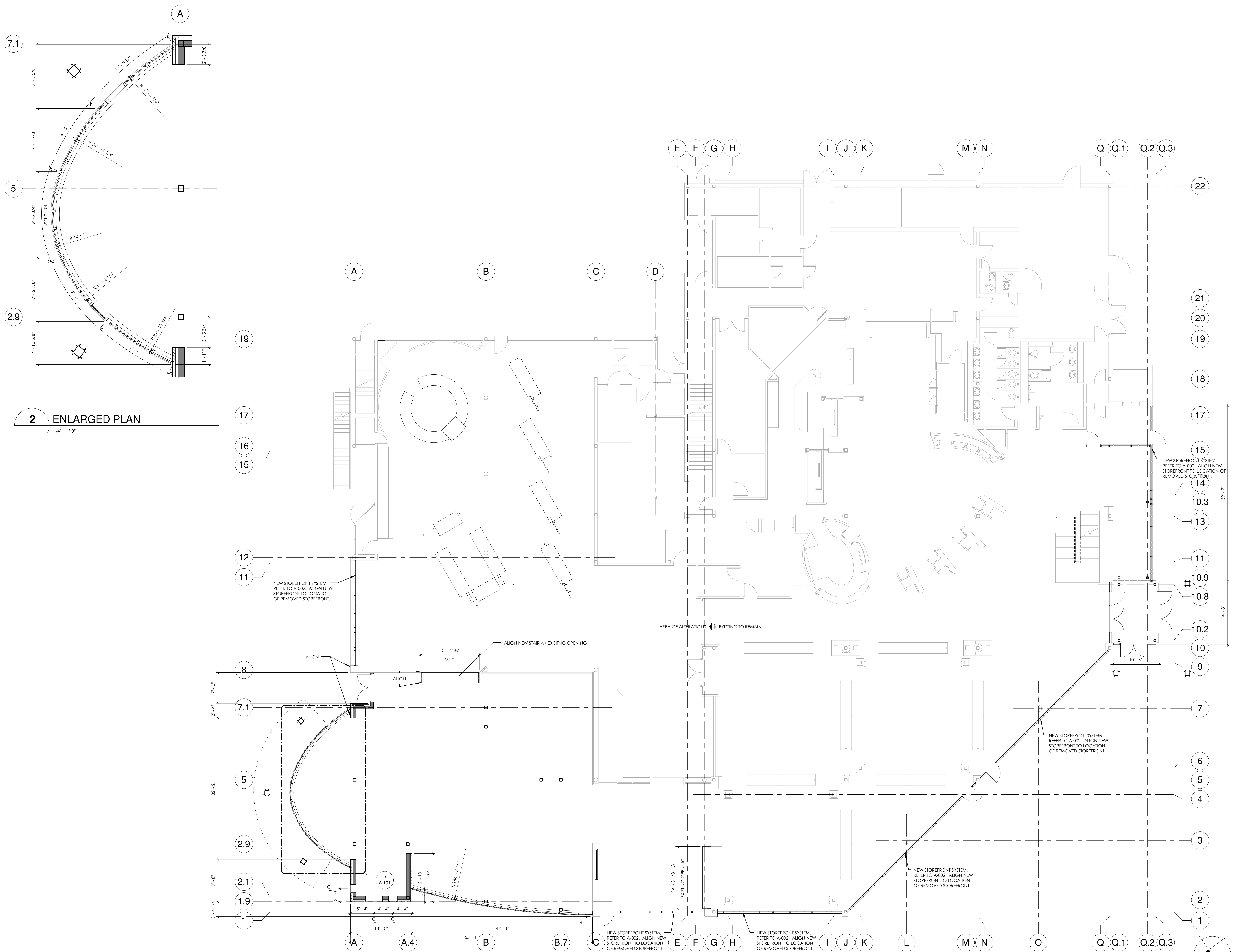
2 UPPER TOWER PLAN

1/8" = 1'-0"



1 FLOOR PLAN - EXTERIOR - NOTED

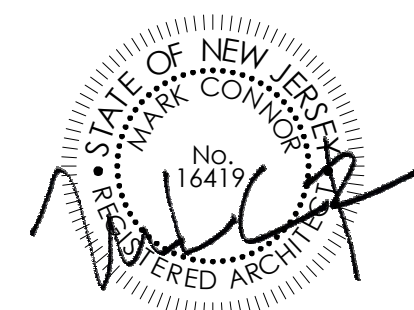
1/8" = 1'-0"



2 ENLARGED PLAN
1/4" = 1'-0"

1 FLOOR PLAN - EXTERIOR - DIMENSION
1/8" = 1'-0"

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FLOOR PLAN - DIMENSION

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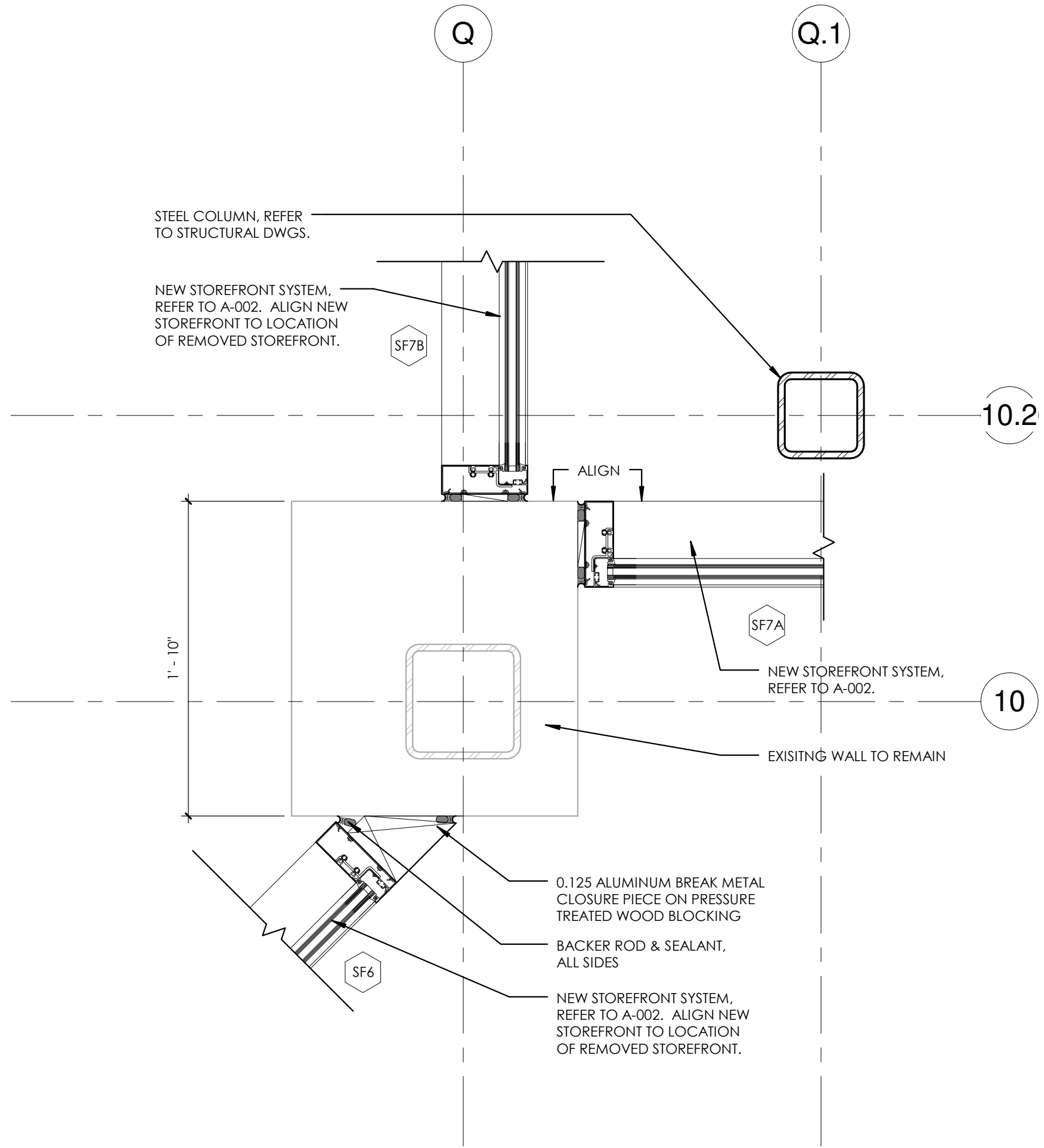
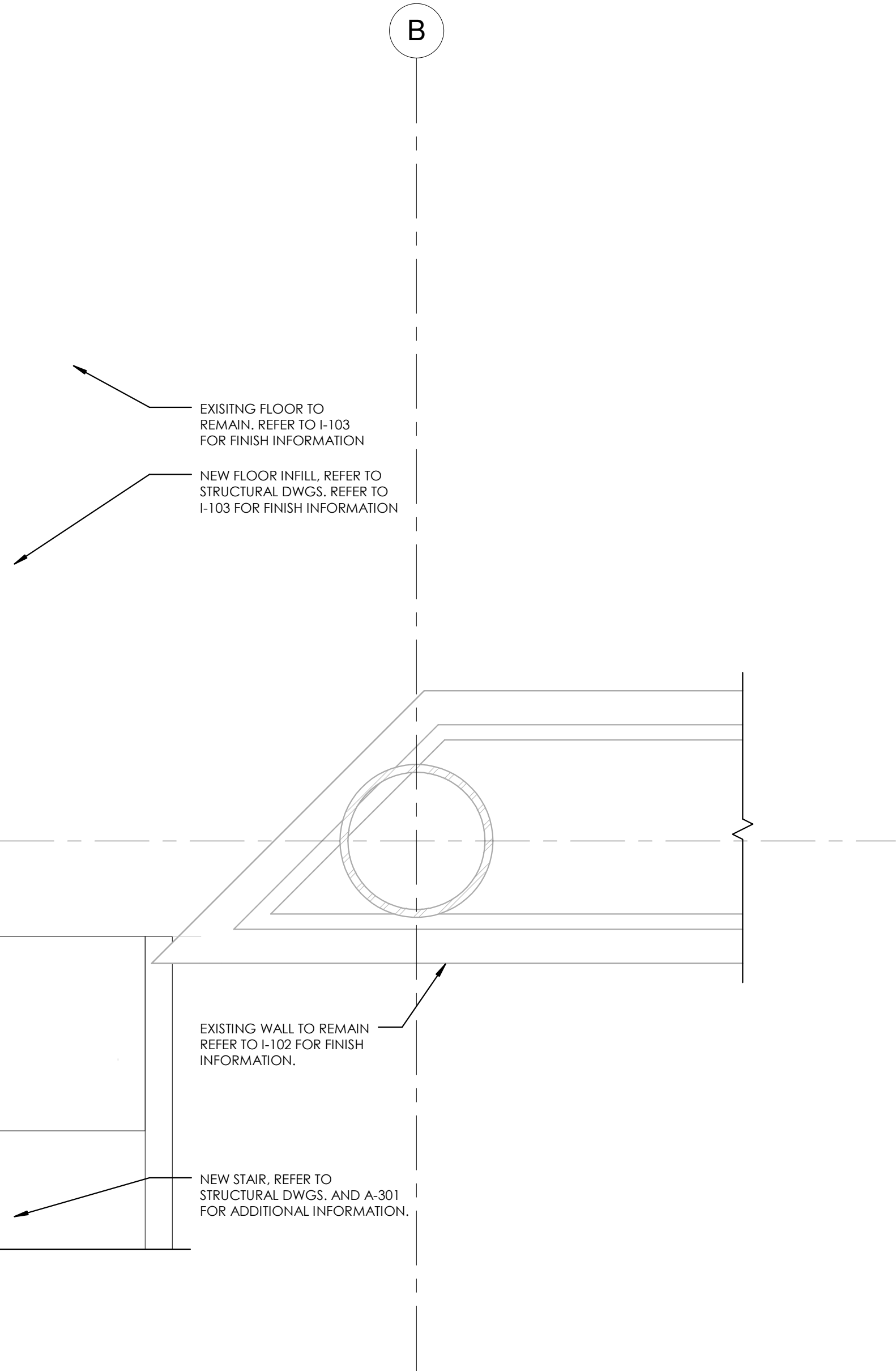
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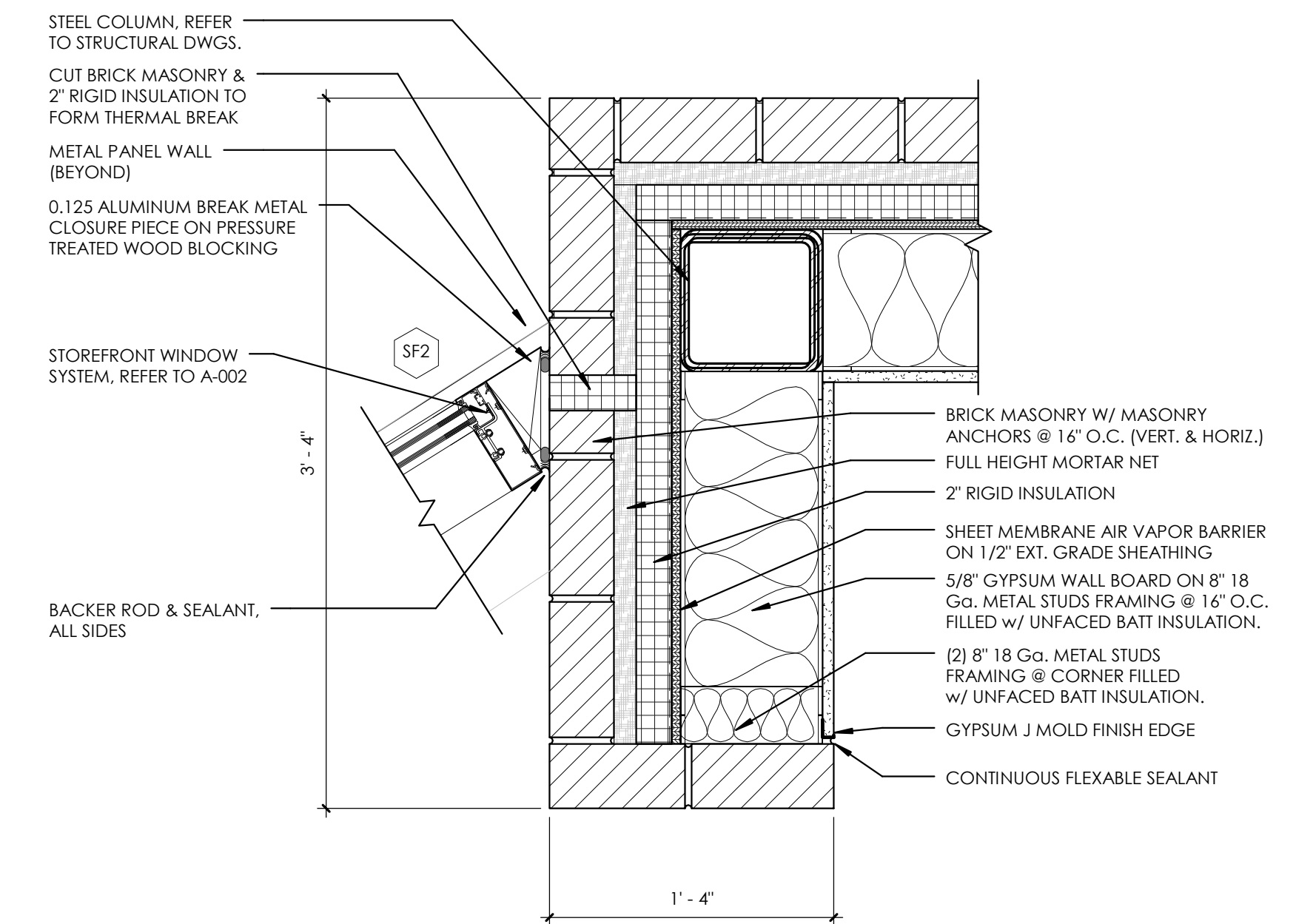
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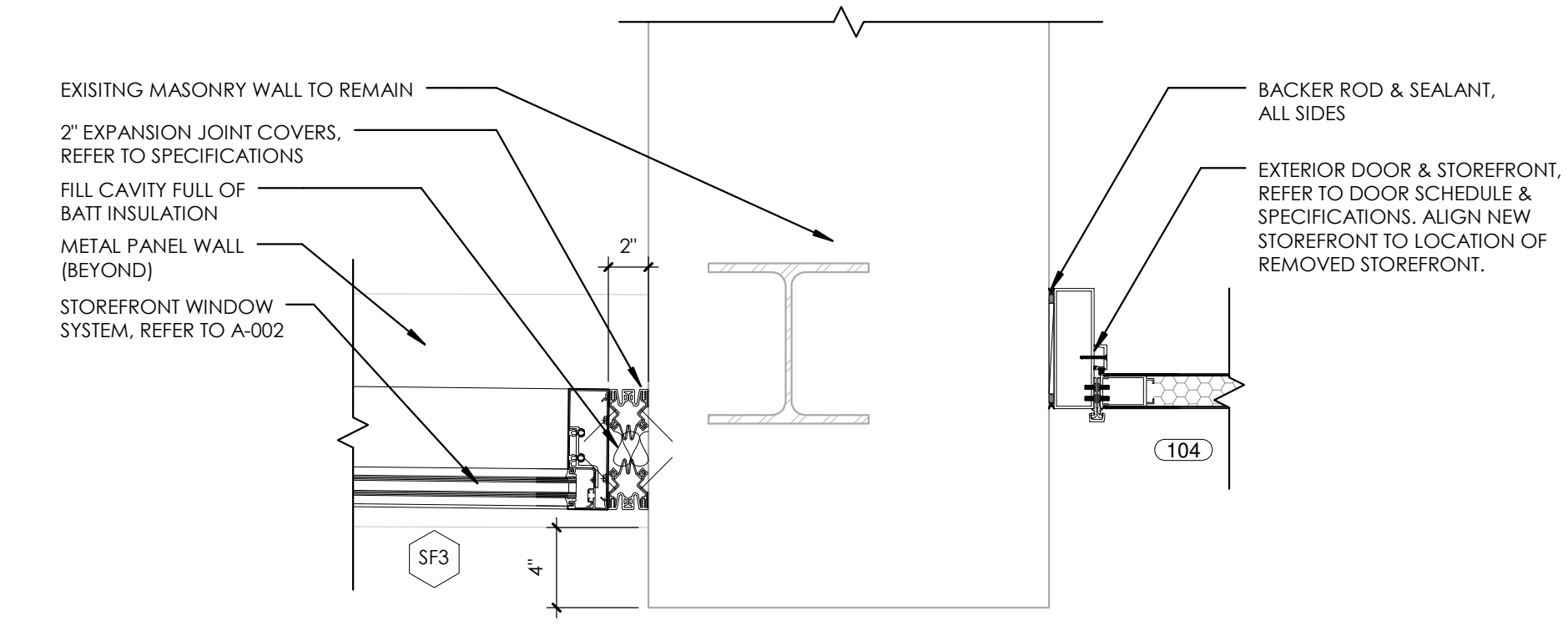
1 PLAN DETAIL @ NEW STAIR
1 1/2" = 1'-0"



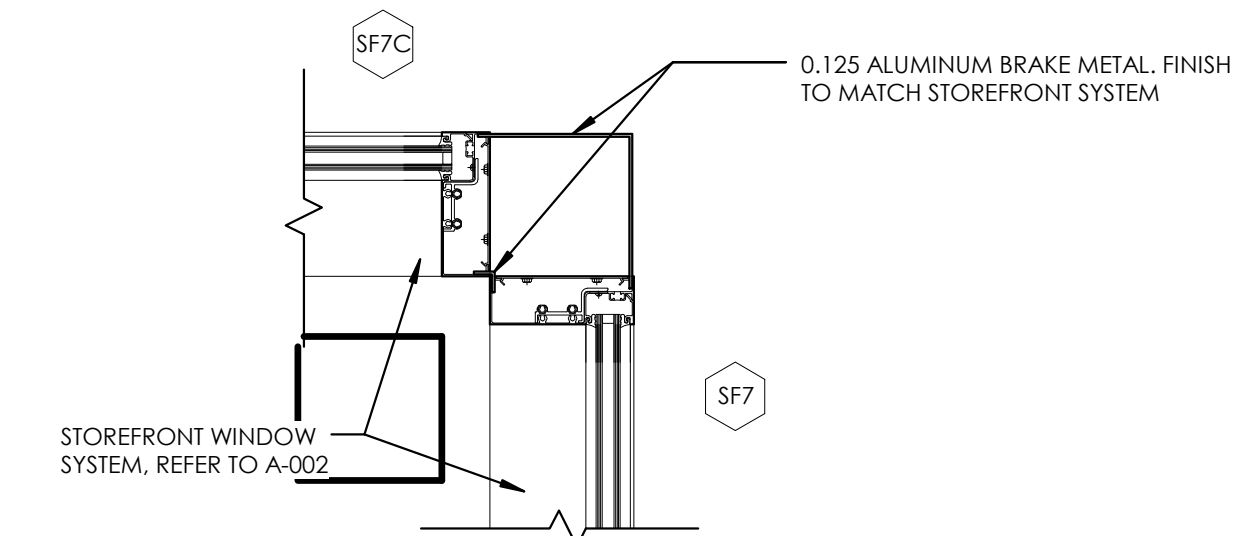
2 VESTIBULE PLAN DETAIL
1 1/2" = 1'-0"



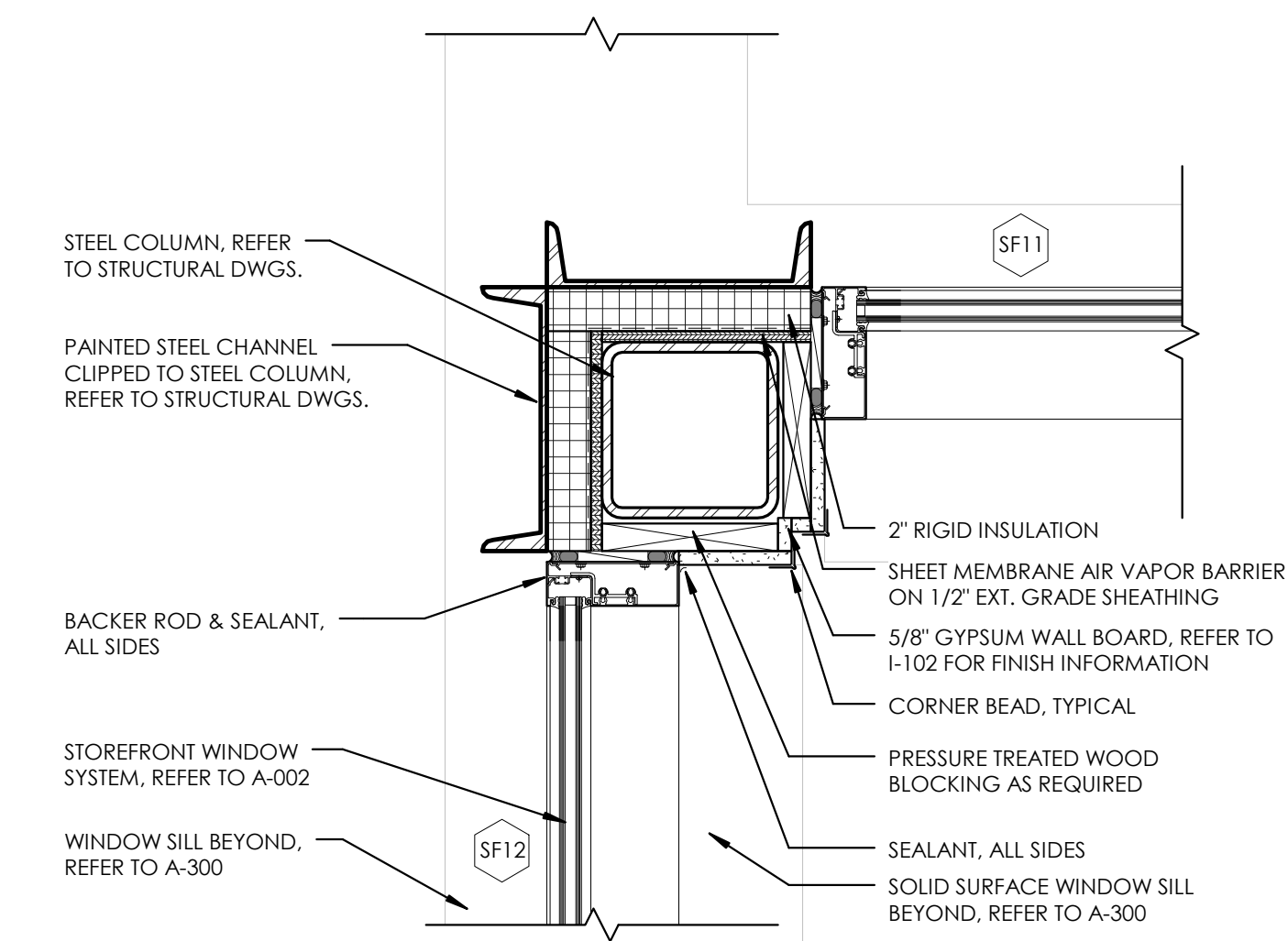
3 STOREFRONT TO BRICK WALL PLAN DETAIL
1 1/2" = 1'-0"



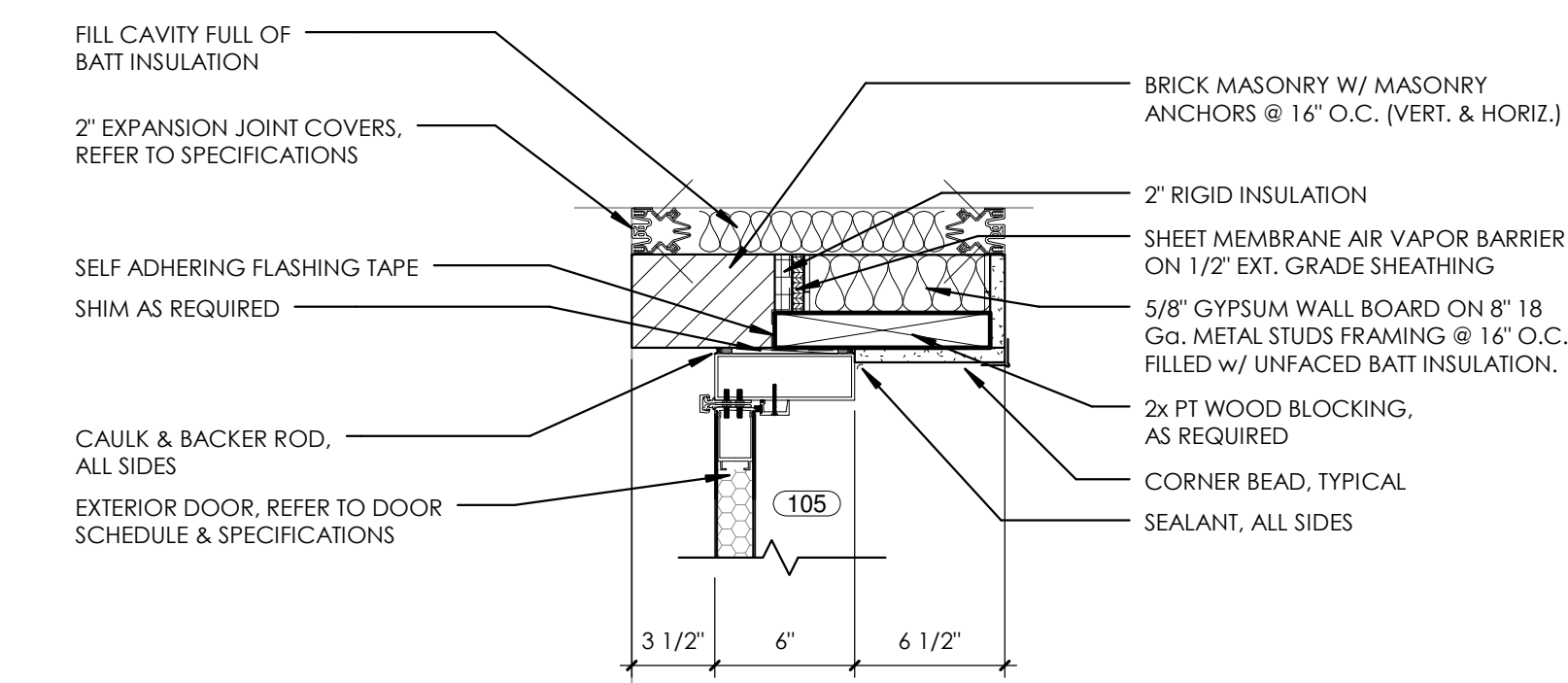
4 METAL PANEL WALL TO EXISTING WALL CONNECTION
1 1/2" = 1'-0"



5 TYPICAL STOREFRONT CORNER
1 1/2" = 1'-0"

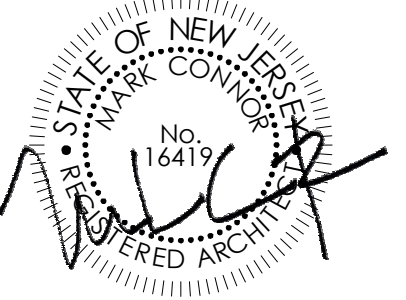


6 TOWER CORNER DETAIL
1 1/2" = 1'-0"



7 NEW BRICK WALL TO EXISTING BRICK WALL CONNECTION
1 1/2" = 1'-0"

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