

ADDENDUM NUMBER 1

PARTICULARS

- 1.01 DATE: April 7, 2015
- 1.02 PROJECT: Interior Renovations to the Mimosa - G Residence
Ramapo College of New Jersey
- 1.03 SNS PROJECT NUMBER: 4698G

TO: PROSPECTIVE BIDDERS

- 2.01 This Addendum forms a part of the Contract Documents and modified the Bidding Documents dated March 18, 2015 and the Addendum Number 1 issued April 7, 2015, with amendments and additions noted below.
- 2.02 Acknowledge receipt of this Addendum in the space provided in the Bid Form. Failure to do so may disqualify the bidder.
- 2.03 This Addendum consists of 3 pages, Addendum #1-1 to #1-3, and Revised drawings as listed below.

CHANGES TO THE DRAWINGS

- 3.01 ARCHITECTURAL DRAWINGS: (see revised drawings).
 - 1. DRAWING A000, COVER SHEET, GENERAL NOTES:
 - 1.1. Controlled Inspections notes have been added to Cover Sheet.
 - 1.2. Safety Plan Notes have been added to Cover Sheet.
 - 1.3. General Notes: #18, #22, #27, #29, #30, #32, #43; have been either revised or are new.
 - 2. DRAWING A001, BUILDING DEPARTMENT NOTES, EGRESS PLANS & PARTIAL DEMOLITION PLANS:
 - 2.1. Building Department Notes: Note – 4. Applicable Regulations,
 - 2.1.1. A. NJUCC Act & Regulations; Note #1 has been revised to read” Current through all up to date revisions”.
 - 2.1.2. B. N.J.A.C. 5:23-6 Rehabilitation Subcode, 2. The rehabilitation subcode references parts of the following model codes; letter ‘H’ has been removed.
 - 2.1.3. C. has been revised to read” Construction designed by Linwood Engineering Associates, PA”.

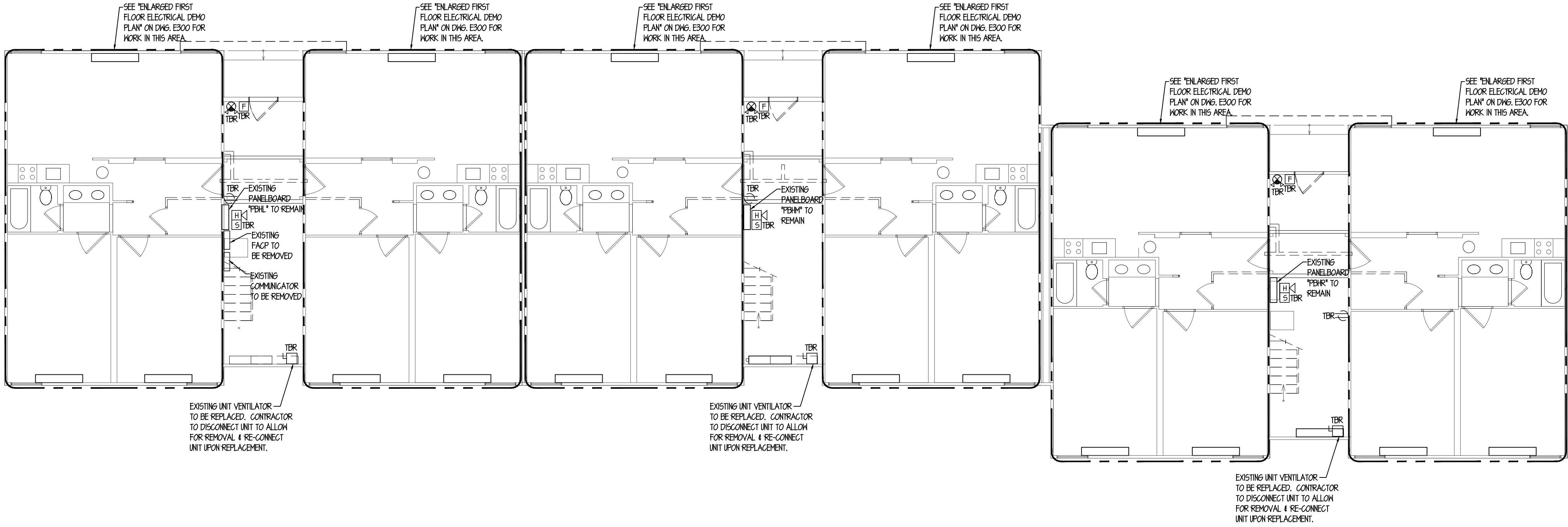
- 2.2. Demolition Notes:
 - 2.2.1. Demolition Note #10 has been revised.
 - 2.2.2. Demolition Note #14 has been added to drawings.
- 2.3. Demolition Scope of Work / Clarification:
 - 2.3.1. Note #3, “Kitchen Cabinets & Appliances” has been added to note.
 - 2.3.2. Note #6, Door hardware demolition coordination note has been added to drawings.
- 2.4. Room Sign & Signage Notes have been added to the drawings.
- 3. DRAWING A002, FIRST & SECOND FLOOR PLANS, DOOR SCHEDULE & DETAILS:
 - 3.1. Door Schedule: Door #102IJ, Remarks: “Provide Flush Metal Louver”.
 - 3.2. Door Schedule Notes; Note #12-C has been revised.
 - 3.3. Door Type ‘A’, Flush metal louver has been added as to drawing.
 - 3.4. Construction Plan Notes:
 - 3.4.1. Note #10-D has been removed.
 - 3.4.2. Note #11 has been revised.
 - 3.4.3. Note #12 has been revised.
 - 3.4.4. Note #13 has been added.
 - 3.5. Overall First Floor Plan 1/A002; I.T. Closet #102IJ: Note has been added”
Furnish and install 4’x8’x3/4” F.T. plywood in IT Closet, painted black, exact location to be determined in field”.
- 4. DRAWING A003, ENLARGED PLANS, NOTES, LEGEND & PARTITION TYPES:
 - 4.1. Partial First Floor Enlarged Plan 1/A003;
 - 4.1.1. Dimensions have been revised at Vestibule stair (see revised plans).
 - 4.1.2. New VCT Flooring has been replaced with “New Linoleum Flooring”.
 - 4.2. Partition Types: Description for partition type 4C has been added.
 - 4.3. Partition Notes: Note #10 has been added to the drawings.
 - 4.4. Insulation Notes: first note has been revised.
- 5. DRAWING A004, ENLARGED PLAN, MILLWORK, DETAILS & EQUIP. SCHEDULE:
 - 5.1. Equipment Schedule:
 - 5.1.1. Mark & Description #29 have been removed (Vinyl Composite Tile Flooring).
 - 5.1.2. Mark #28, has been revised, it is no longer an alternate in kitchen area.
 - 5.2. Enlarged Bathroom & Kitchen Plan: Mark #29 has been replaced with Mark #28.
 - 5.3. Cabinet Sections #7, #8 & Vanity Section #9: VCT finish flooring note has been replaced with” Linoleum finish flooring”.

6. DRAWING A005, STAIR PLAN & DETAILS & FINISH SCHEDULE:
 - 6.1. Enlarged Stair Plan: Dimensions have been changed at stair, see revised plans.
 - 6.2. Stair Section 2/A005, Stair Detail 3/A005, Stair Elevation 4/A005 & Stair Guardrail Detail 6/A00, have been revised to match stair dimension revisions, see plans.
 - 6.3. Finish Schedule:
 - 6.3.1. Revisions have been made to floor & Base columns, see revised plan.
 - 6.3.2. Living, Dining, Kitchen remarks column, remark has been omitted.
 - 6.3.3. Finish Schedule Notes: Note #6 & #7 have been added, see revised plans.

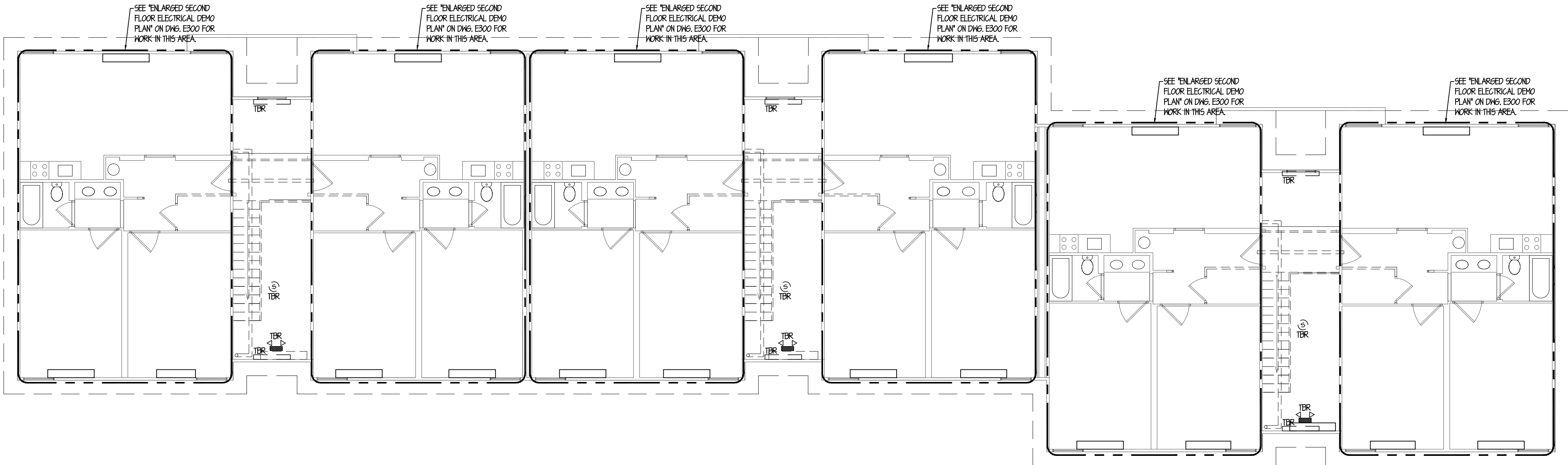
4.01 M.E.P. DRAWINGS: (see revised drawings).

1. DRAWING E100, ELECTRICAL NOTES, SPECIFICATIONS AND SYMBOLS:
 - 1.1. Added note indicating that all demolition work is by others under separate contract and filed under separate DCA permit application.
2. DRAWING E200, FIRST & SECOND FLOOR ELECTRICAL DEMOLITION NOTES:
 - 2.1. Revised Key Note #4 to indicate new security cameras to be furnished and installed by others.
 - 2.2. Added power to new exhaust fan EF-1.
3. DRAWING E300, ENLARGED FIRST & SECOND FLOOR ELECTRICAL PLANS:
 - 3.1. Added note indicating that all demolition work is by others under separate contract and filed under separate DCA permit application.
 - 3.2.
4. DRAWING M001, HVAC NOTES, DETAILS, & SYMBOLS:
 - 4.1. Revised “HVAC Symbols for Alteration Work”.
5. DRAWING M100, FIRST & SECOND FLOOR HVAC PLANS:
 - 5.1. Added exhaust fan EF-1 to IT Closet, key notes and associated fan schedule.
6. DRAWING M200, ENLARGED FIRST & SECOND FLOOR HVAC PLANS:
 - 6.1. Added note indicating that all demolition work is by others under separate contract and filed under separate DCA permit application.
 - 6.2. Removed unit ventilator from “Enlarged Second Floor HVAC Plan” located in Bridge 201GH.
7. DRAWING P200, ENLARGED FIRST & SECOND FLOOR PLUMBING PLANS:
 - 7.1. Added note indicating that all demolition work is by others under separate contract and filed under separate DCA permit application.

End of Addendum #1



FIRST FLOOR ELECTRICAL DEMOLITION PLAN
SCALE: 1/8"=1'-0"



SECOND FLOOR ELECTRICAL DEMOLITION PLAN
SCALE: 1/8"=1'-0"

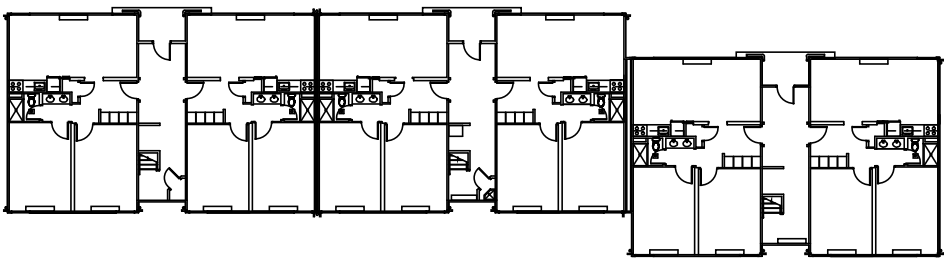
ELECTRICAL DEMOLITION NOTES:

- DO NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH SPACE, AND TO FULFILL THE INTENT OF THE WORK INDICATED BY THE CONTRACT DOCUMENTS. VERIFY ALL DIMENSIONS WITHIN THE CONTRACT LIMITS. BRING DEVIATIONS FROM THE CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS TO THE ATTENTION OF THE ARCHITECT.
- CONTRACTOR SHALL DISCONNECT AND MAKE SAFE ALL AREAS PRIOR TO GENERAL DEMOLITION BY THE GENERAL CONTRACTOR. THIS SHALL INCLUDE ALL MECHANICAL EQUIPMENT, CONTROL SYSTEMS AND ACCESSORIES. ELECTRICAL CONTRACTOR SHALL REFER TO MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT REGARDING DISCONNECT/DEMOLITION. CONTRACTOR TO PROVIDE TEMPORARY LIGHTING & POWER IN AREA OF WORK. TEMPORARY LIGHTING IS TO REMAIN AT COMPLETION OF PROJECT. TEMPORARY LIGHTING SHALL PROVIDE A MINIMUM OF 30 FOOT-CANDLES THROUGHOUT AREA OF WORK.
- DO ALL NECESSARY DEMOLITION AND REMOVAL OF EXISTING LIGHTING, EXISTING FIRE ALARM SYSTEM AND ELECTRICAL EQUIPMENT AS REQUIRED.
- DEMOLITION TO BE PERFORMED AFTER NORMAL WORKING HOURS IF REQUIRED BY THE OWNER.
- RELOCATE AND RECONNECT ALL CIRCUITING TO EXISTING LOADS WHICH ARE TO REMAIN IF SAME IS DISTURBED BY DEMOLITION WORK. PROVIDE NEW WIRING IF REQUIRED.
- CONDUITS COMING UP OUT OF FLOOR SLAB WHICH ARE TO BE REMOVED SHALL BE CUT BACK BELOW TOP OF FINISHED SLAB TO PREVENT FALLOUT.
- DISCONNECT AND REMOVE ALL EXISTING WIRING AND EXPOSED CONDUITS NOT BEING REWIRED OR REUSED.
- REMOVE ALL DEVICES AND ASSOCIATED WIRING AND CONDUITS FROM EXISTING OUTLETS, SWITCHES, FIRE ALARM DEVICES, ETC. BEING REMOVED TO PERMIT PASSAGING OVER THE ARCHITECTURAL SURFACE.
- WHERE EXISTING WIRING AND CIRCUITRY WHICH IS TO REMAIN IS LEFT EXPOSED BY DEMOLITION AND REMOVAL OF PARTITION AND/OR HANG CEILING, RELOCATE SUCH WIRING TO MAINTAIN THE CIRCUIT CONTINUITY.
- WHERE EXISTING LIGHTING, EQUIPMENT, WIRING, ETC., IS INDICATED AS REMAINING AND SUCH ITEMS INTERFERE WITH THE INSTALLATION OR THE DEMOLITION WORK OF OTHER TRADES, DISCONNECT, REMOVE AND RELOCATE TO AVOID CONFLICTS. REPAIR AND RECONNECT SUCH ITEMS AS REQUIRED.
- WHERE EXISTING LIGHTING FIXTURES AND DEVICES ARE BEING REMOVED AND SUCH REMOVAL DISTURBS THE CIRCUITRY TO LIGHTING FIXTURES AND DEVICES WHICH ARE TO REMAIN, PROVIDE ALL NECESSARY MODIFICATIONS AND ADDITIONS TO WIRING AS REQUIRED TO RETAIN SERVICE AND SWITCH CONTROL.
- RELOCATE EXISTING ACTIVE OUTLET BOXES, JUNCTION BOXES, ETC. WHICH ARE RENDERED INACCESSIBLE BY NEW CONSTRUCTION.
- ALL EXISTING BRANCH CIRCUIT WIRING FROM RESIDENTIAL TENANT PANELS SHALL BE REMOVED.

NOTE:
ALL DEMOLITION WORK IS BY OTHERS UNDER SEPARATE CONTRACT AND FILED UNDER SEPARATE DCA PERMIT.

Revisions		
Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	2	ISSUED FOR BIDDING
03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED FOR ADDENDUM #1

Key Plan



Consultants

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Project

INTERIOR RENOVATIONS
AT THE
MIMOSA - G RESIDENCE



RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT# 9071-15

Client



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OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

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John M. Lignos, AIA
Lorin J. Sonenshine, AIA
Steven Napolitano, PE

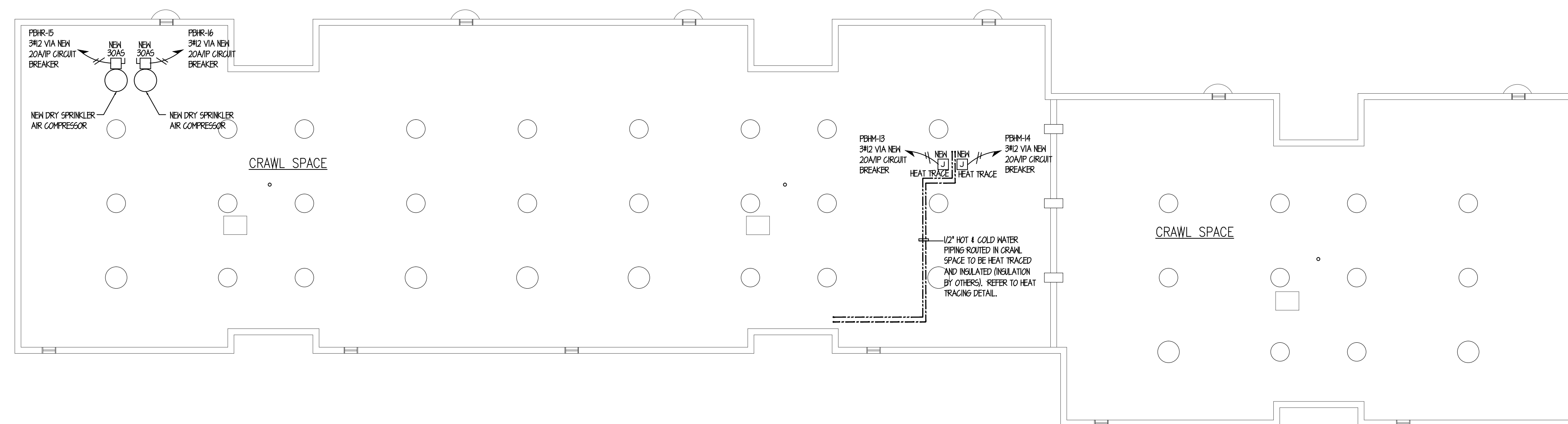
Cert./Lic. No.
Date 02-03-15 Scale AS NOTED
Drawn By MD Checked By SG
Dwg. Title
FIRST & SECOND FLOOR ELECTRICAL DEMOLITION PLANS

Work Order No. Dwg. No.

4698G E100

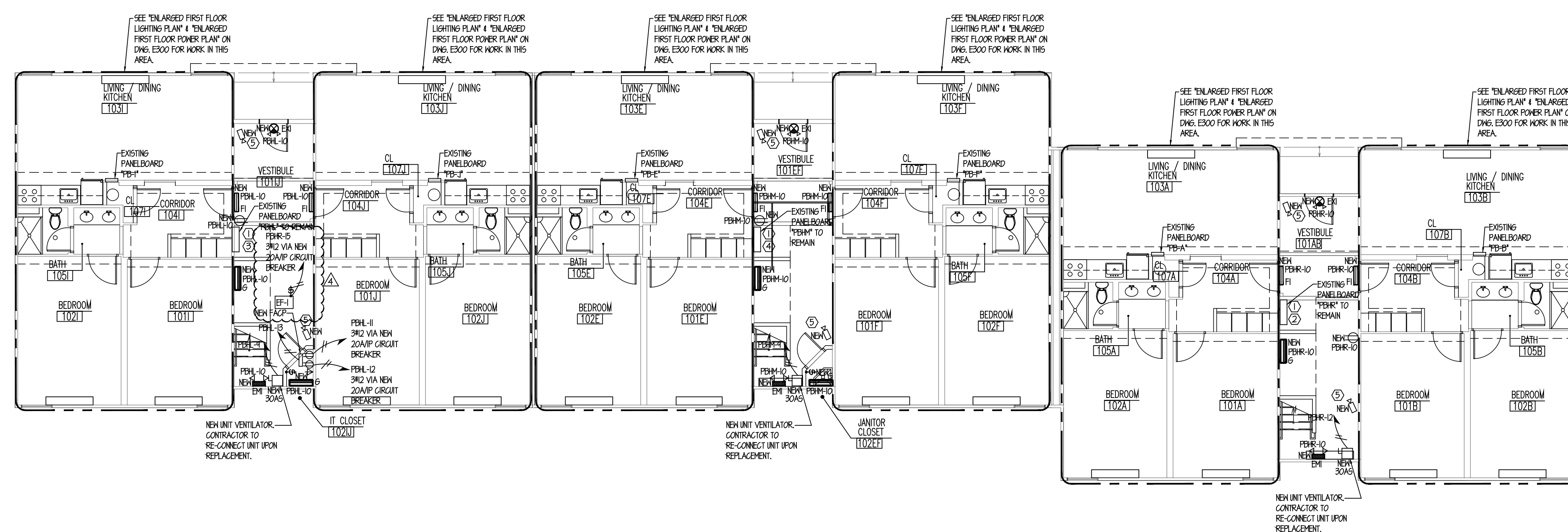
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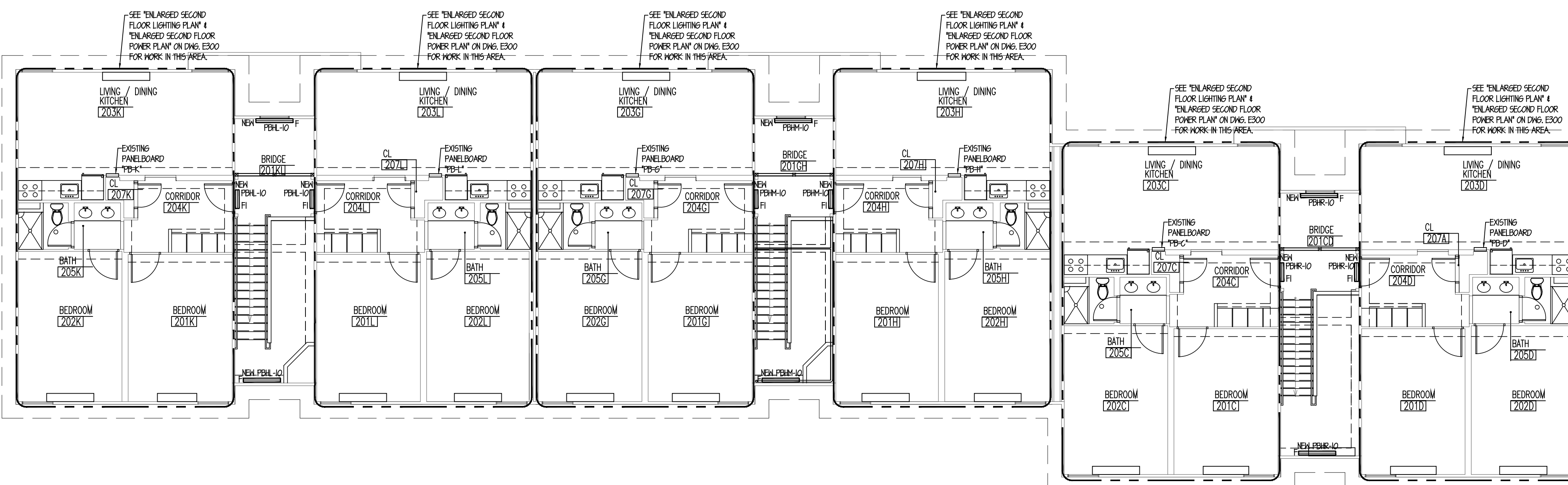
CRAWL SPACE ELECTRICAL PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/8"=1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE: $1/8'' = 1'-0''$

LIGHTING NOTES:

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POWER PLAN NOTES:

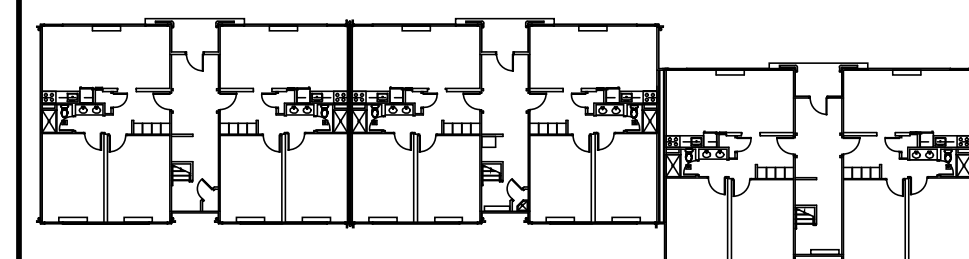
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KEY NOTES:

- ① CONTRACTOR TO PROVIDE AND INSTALL NEW CUSTOMER SUB-METERING TO MONITOR ELECTRICAL POWER TO THE PANELBOARD. SUB-METERING BE SIMILAR TO HYDROM-DHON MODEL: ESQ-200020-R00T-05, OR OVERENGINEERED APPROX. EQUIVALENT.
- ② CONTRACTOR TO PROVIDE AND INSTALL THREE (3) NEW MOLDED-CASE, 100/200 VAC, 20A, 1-POLE, 10 KVA, CRUIT BREAKERS IN EXISTING PANELBOARD "PRL", SPACES #5 AND #6.
- ③ CONTRACTOR TO PROVIDE AND INSTALL THREE (3) NEW MOLDED-CASE, 100/200 VAC, 20A, 1-POLE, 10 KVA, CRUIT BREAKERS IN EXISTING PANELBOARD "PRL", SPACES #1, #2 AND #3.
- ④ CONTRACTOR TO PROVIDE AND INSTALL TWO (2) NEW MOLDED-CASE, 100/200 VAC, 20A, 1-POLE, 10 KVA, CRUIT BREAKERS IN EXISTING PANELBOARD "PRL", SPACES #3 AND #4.
- ⑤ NEW HIN-DONE SECURITY CAMERA FURNISHED AND INSTALLED BY OTHERS.

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Project

INTERIOR RENOVATIONS AT THE MIMOSA - G RESIDENCE



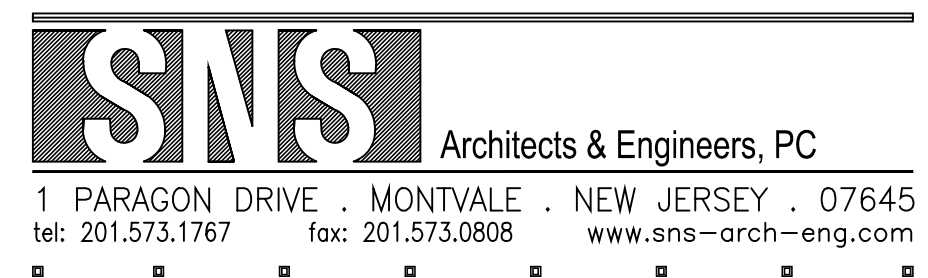
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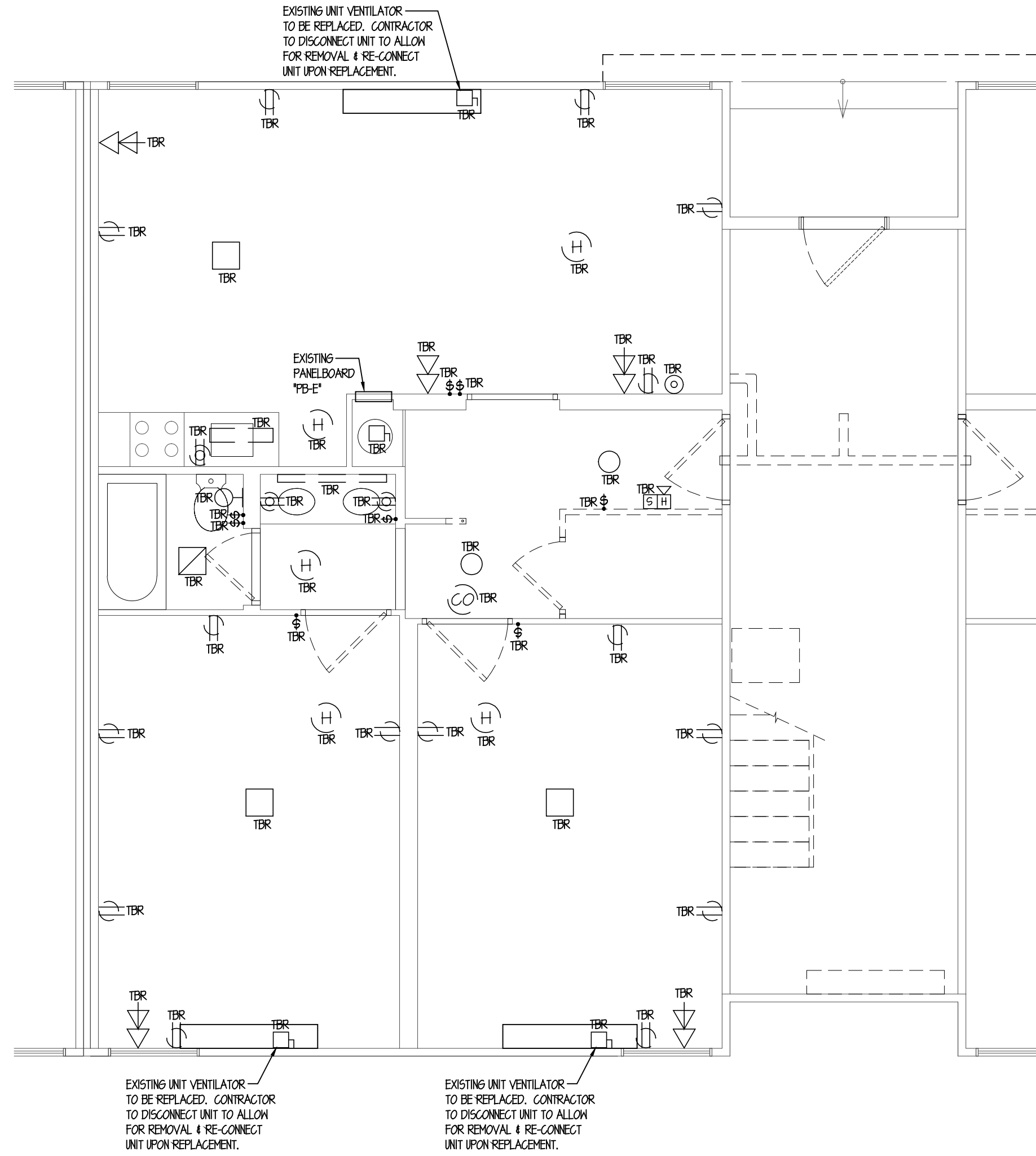
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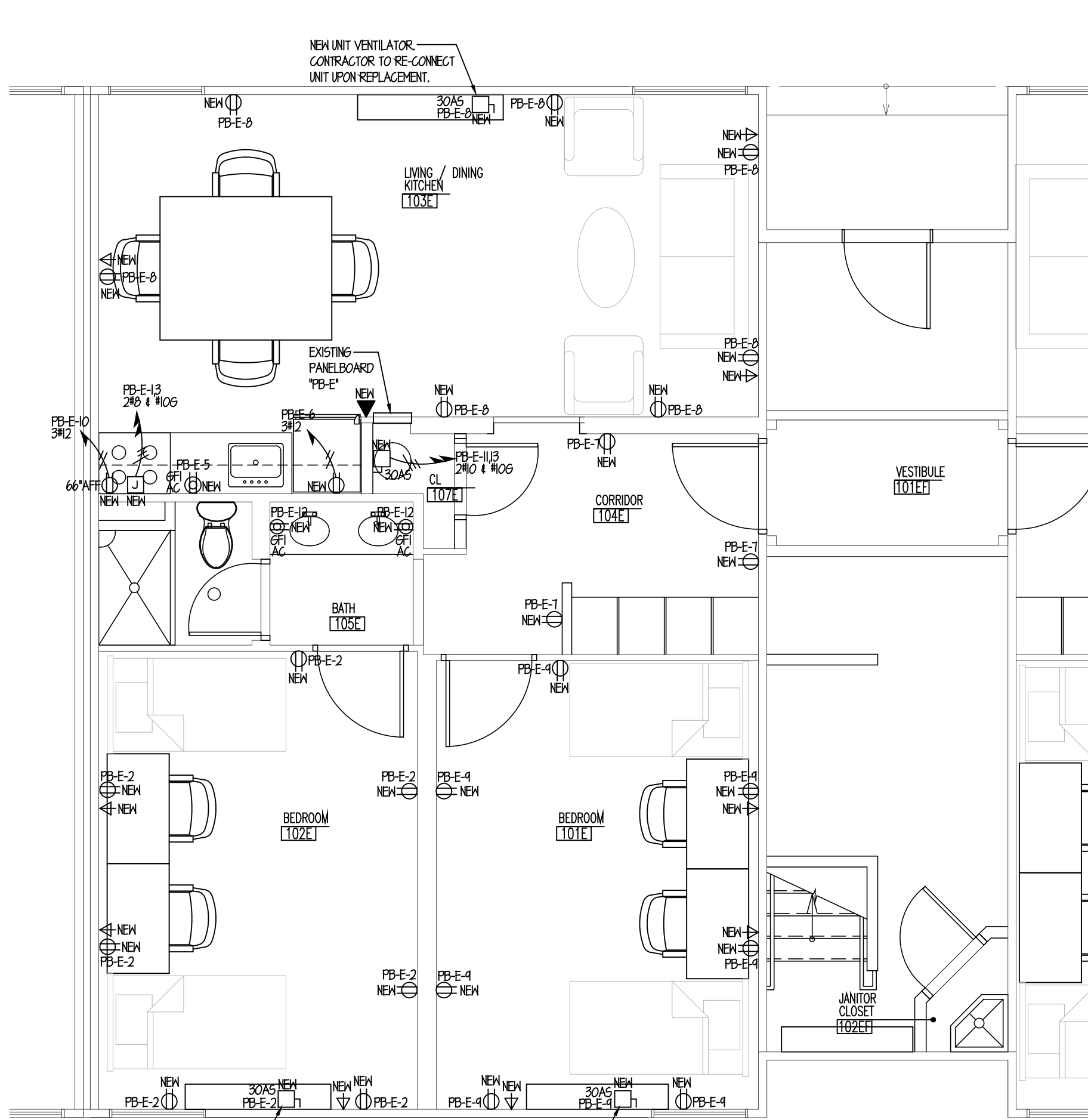
Cert./Lic. No.			
Date	02-03-15	Scale	AS NOTED
Drawn By	MD	Checked By	SG
Dwg. Title			
CRAWL SPACE, FIRST FLOOR & SECOND FLOOR ELECTRICAL PLANS			

Work Order No. 4698G Dwg. No. E-200

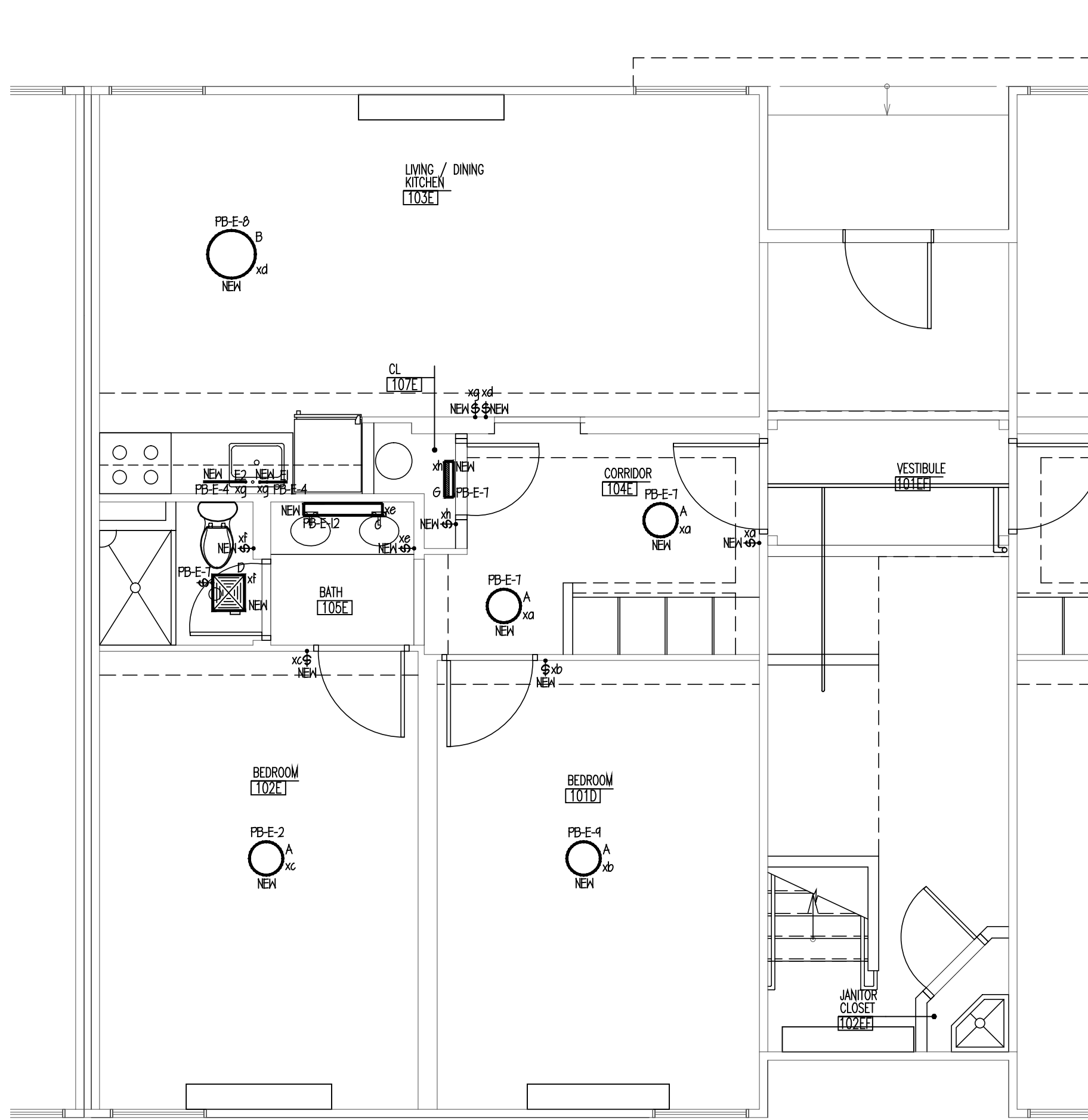
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	MA #45516
	NJ #30419
	NV #019975
	NY #56608
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ENLARGED FIRST FLOOR ELECTRICAL DEMO PLAN
SCALE: 1/4"=1'-0"



ENLARGED FIRST FLOOR POWER PLAN
SCALE: 1/4"=1'-0"



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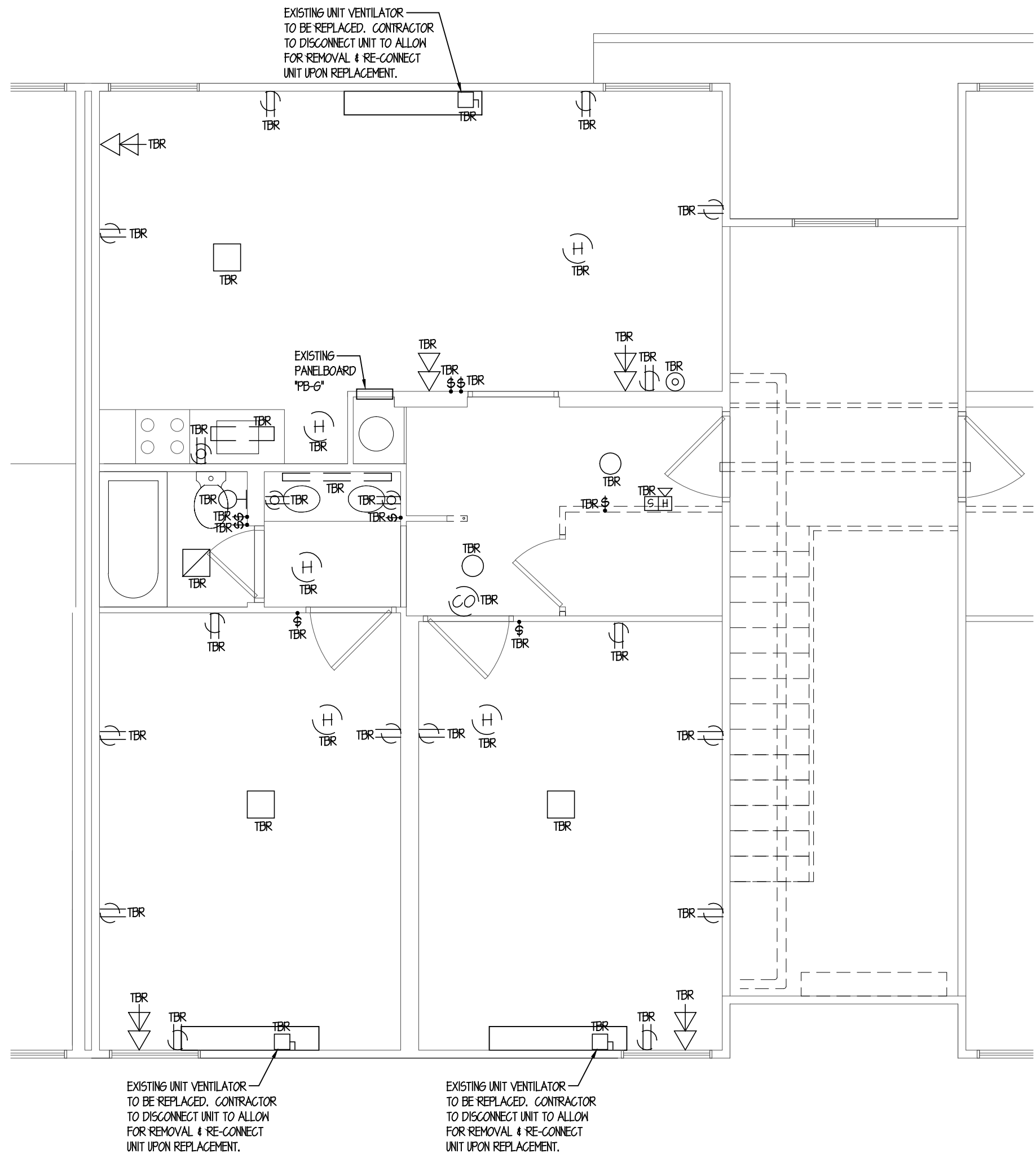
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LIGHTING NOTES:

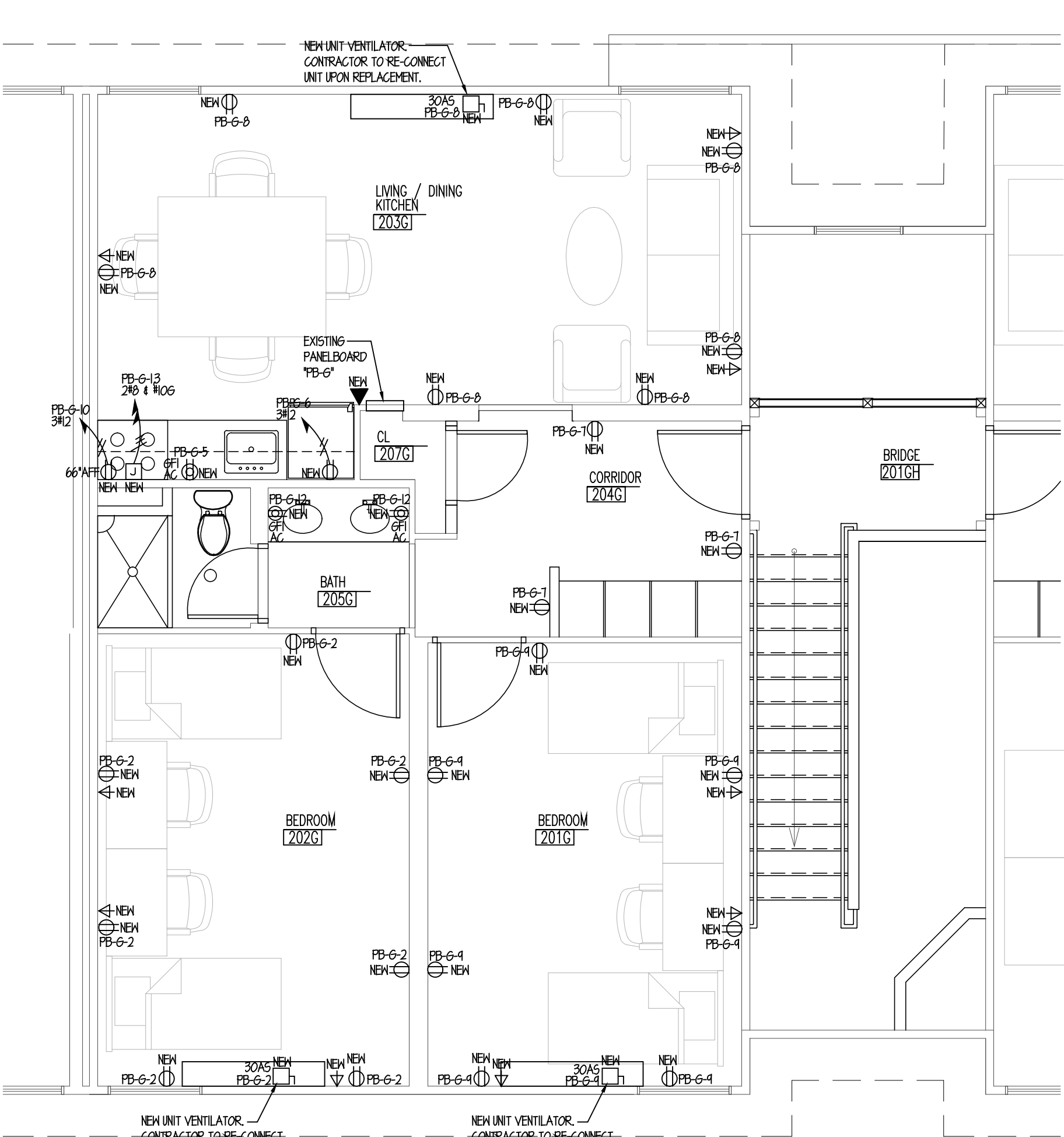
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- NUMBERS INDICATED FOR BRANCH CIRCUITS ARE FOR GROUPING ONLY. ALL PANELBOARD DIRECTORIES ARE TO BE UPDATED FOR FUTURE REFERENCE.

POWER PLAN NOTES:

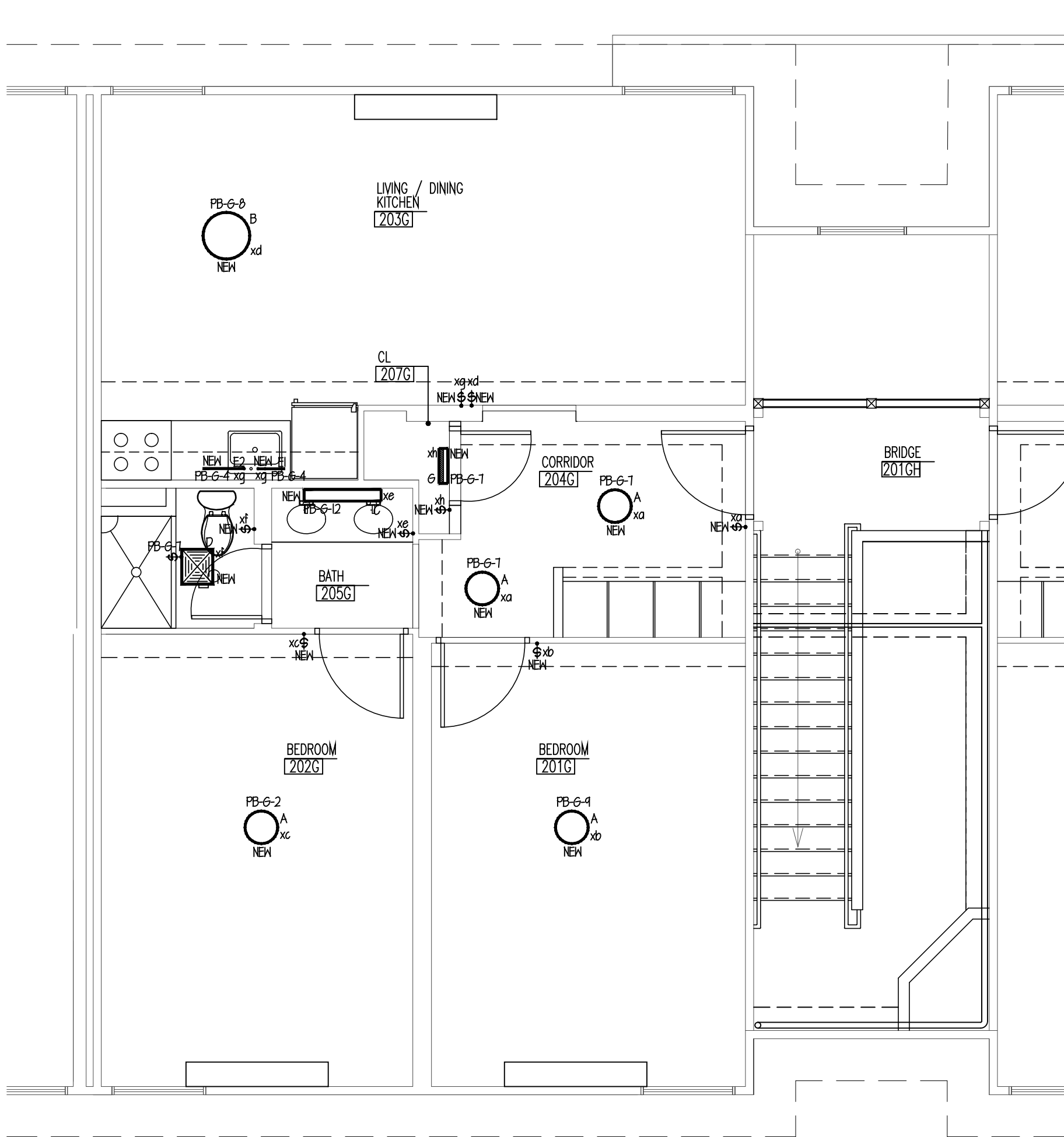
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ENLARGED SECOND FLOOR ELECTRICAL DEMO PLAN
SCALE: 1/4"=1'-0"



ENLARGED SECOND FLOOR POWER PLAN
SCALE: 1/4"=1'-0"



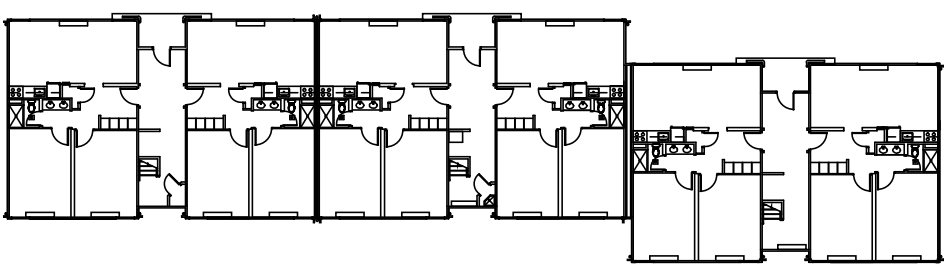
ENLARGED SECOND FLOOR LIGHTING PLAN
SCALE: 1/4"=1'-0"

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Revisions		
Date	Issue	Description
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04-07-15	4	ISSUED FOR ADDENDUM #1

Key Plan



Consultants

LINWOOD ENGINEERING ASSOCIATES, P.A.

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Project

INTERIOR RENOVATIONS
AT THE
MIMOSA - G RESIDENCE

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT# 9071-15

Client

RAMAPO COLLEGE
OF NEW JERSEY
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Lorin J. Sonenshine, AIA
Steven Napolitano, PE

Cert./Lic. No. Date 02-03-15 Scale AS NOTED
Drawn By MD Checked By SG

Dwg. Title
ENLARGED FIRST & SECOND FLOOR ELECTRICAL PLANS

Work Order No. Dwg. No.

4698G E300

MECHANICAL NOTES AND SPECIFICATIONS

I. GENERAL

- A. CONTRACTOR SHALL PERFORM ALL WORK AS TO CONFORM TO LOCAL, STATE AND NATIONAL CODES AND THE REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
- B. CONTRACTOR TO EXAMINE THE SITE TO DETERMINE THE EXACT CONDITIONS EFFECTING THE MECHANICAL WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS NOTED ON THE PLANS.
- C. DRAWINGS INDICATE THE GENERAL SCHEME OF THE INSTALLATION AND ARE DIAGNRAMATIC IN SCOPE. THE ENGINEER RESERVES THE RIGHT TO CHANGE THE LOCATION OF DUCTWORK, PIPING, DIFFUSERS, APPARATUS, ETC., TO A REASONABLE EXTENT AS THE BUILDING CONDITIONS MAY DICTATE PRIOR TO THEIR INSTALLATION WITHOUT EXTRA COST TO THE OWNER. THE EXACT LOCATION AND ARRANGEMENT OF ALL EQUIPMENT AND PARTS SHALL BE DETERMINED AS THE WORK PROGRESSES.
- D. DETAILS OF CONSTRUCTION AND OF WORKMANSHIP WHERE NOT SPECIFICALLY DESCRIBED HEREIN OR INDICATED ON THE DRAWINGS SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL. IT IS THE INTENT OF THESE SPECIFICATIONS TO PROVIDE COMPLETE SYSTEMS, CONSTRUCTED WITH NEW AND FIRST QUALITY MATERIALS AND EQUIPMENT, LEFT IN GOOD WORKING ORDER, READY FOR OPERATION.
- E. SCRAP, DEBRIS AND ABANDONED HVAC EQUIPMENT, DUCTWORK, SUPPORTS, CONTROLS AND ACCESSORIES SHALL, EXCEPT AS OTHERWISE SPECIFIED, BE REMOVED FROM THE SITE AND DISPOSED OF BY THIS CONTRACTOR.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR START-UP OF ALL SYSTEMS.
- G. ALL WORK SHALL BE DONE WITH A MINIMUM OF DUST AND DIRT. PROVIDE SUFFICIENT FIREPROOF TARPAILING AND COVER ALL EQUIPMENT IN WORK AREA WITH SAME DURING WORK OPERATIONS.
- H. CONTRACTOR SHALL FURNISH SHOP DRAWINGS AND EQUIPMENT CUTS TO THE ARCHITECT FOR APPROVAL (MINIMUM 5) COPIES). THE ENGINEER'S APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM HIS OBLIGATION TO COMPLY WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS.
- I. CONTRACTOR SHALL COORDINATE CONNECTIONS TO STREET WITH LOCAL UTILITY COMPANIES.
- J. CONTRACTOR SHALL FILE, SECURE AND PAY FOR ANY NECESSARY APPROVALS, PERMITS AND INSPECTIONS.
- K. ALL WORK SHALL BE IN STRICT CONFORMANCE WITH THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE, THE STATE OF NEW JERSEY FIRE PREVENTION CODE (NJAC 15-10), THE STATE OF NEW JERSEY FIRE PREVENTION CODE, THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL MECHANICAL CODE AND THE ASHRAE 90I-2007, ENERGY CONSERVATION CODE.
- L. PRIOR TO TESTING, CONTRACTOR SHALL MAKE ALL SYSTEM ADJUSTMENTS REQUIRED FOR PROPER OPERATION. ADJUSTMENTS SHALL INCLUDE AIR BALANCING, HYDRONIC BALANCING, ETC.
- M. ALL SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE AND THE STATE OF NEW JERSEY FIRE PREVENTION CODE. CONTRACTOR TO COORDINATE TESTS WITH LOCAL OFFICIALS.
- N. CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTING ALL FACILITIES IN AREAS INDICATED FOR DEMOLITION ON THE ARCHITECTURAL DRAWINGS.
- O. WHERE DEMOLITION OF EXISTING SERVICES RESULTS IN THE INTERRUPTION OF DUCTWORK, MECHANICAL PIPING, ETC. SERVING AREAS WHICH ARE TO REMAIN, INSTALL BYPASS CONNECTIONS AS REQUIRED TO RESTORE REMAINING SERVICES TO OPERATION. GASKING MATERIAL, JOINTINGS AND INSULATION OF BYPASS CONNECTIONS SHALL MATCH EXISTING INSTALLATION.
- P. ALL WORK SHALL BE GUARANTEED TO BE FREE FROM DEFECT FOR ONE YEAR AFTER ACCEPTANCE OF WORK.
- Q. THE CONTRACTOR'S PROPOSAL AND BASE BID MUST COVER ALL ITEMS IN THE PLANS AND SPECIFICATIONS NOTED EXACTLY AS DRAWN, NOTED, SCHEDULED, DETAILED AND SPECIFIED. TO RESERVE CONSIDERATION FOR A SUBSTITUTION OF MATERIALS AND/OR EQUIPMENT, THE CONTRACTOR MUST INCLUDE THE FOLLOWING INFORMATION WITH HIS BASE BID:
- DOCUMENTATION OF EQUALITY, A SIDE-BY-SIDE COMPARISON, OF PERFORMANCE AND CONSTRUCTION MATERIALS BETWEEN THE SPECIFIED ITEM AND THE PROPOSED SUBSTITUTION.
 - THE DOLLAR VALUE FOR CREDIT, ASSOCIATED WITH THE SUBSTITUTED ITEM(S), SHALL BE ITEMIZED IN THE BASE BID.

- R. IN ACCORDANCE WITH IMC 2004, SECTION 602.1, THE FOLLOWING REQUIREMENTS SHALL APPLY TO ALL WORK LOCATED IN A PLENUM CEILING:
- a. MUST BE LOW VOLTAGE OR POWER LIMITED.
 - b. FLAME SPREAD NOT GREATER THAN FIVE FEET.
 - c. WIRE SHALL BEAR THE LABEL OF AN APPROVED AGENCY AND BE MARKED IN ACCORDANCE WITH NFPA 70.
 - d. THERMAL AND ACOUSTICAL MATERIALS AND PIPE INSULATION MUST HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING RATING OF 50 OR LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84.

2. SCOPE OF WORK

- A. THE WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- B. FURNISH AND INSTALL ALL NEW EXHAUST AIR DUCTWORK.
- C. FURNISH AND INSTALL INSULATION FOR ALL SUPPLY & RETURN AIR DUCTWORK.
- D. FURNISH AND INSTALL ALL FAN COIL UNITS AS SHOWN ON DRAWINGS AND SPECIFIED IN SCHEDULES.
- E. FURNISH AND INSTALL ALL CEILING MOUNTED CABINET EXHAUST FANS AS SHOWN ON DRAWINGS AND SPECIFIED IN SCHEDULES.
- F. FURNISH AND INSTALL ALL HANGERS AND SUPPORTS.
- G. FURNISH AND INSTALL ALL HOT/CHILLED WATER PIPES FOR FAN COIL UNITS AS REQUIRED.
- H. SHOP DRAWINGS.
- I. ENGAGE THE SERVICES OF AN APPROVED INDEPENDENT AIR BALANCING COMPANY TO BALANCE THE SYSTEMS, AND ISSUE AN AIR BALANCING REPORT. THE INDEPENDENT AIR BALANCING COMPANY SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL. IF NECESSARY, PROVIDE MANUAL VOLUME DAMPERS AT BRANCH DUCTWORK TO ASSURE PROPER AIR BALANCE.
- J. ALTERATIONS, REMOVALS, AND DISPOSAL.
- K. CUTTING AND ROUGH PATCHING.
- L. OBTAINING AND PAYING FOR ALL NECESSARY PERMITS, INSPECTIONS AND CERTIFICATES REQUIRED IN CONNECTION WITH THIS WORK, AIR DUCTWORK.
- M. REMOVE ALL WORK INDICATED ON THE DRAWINGS.
- N. REMOVE ALL EXISTING HVAC EQUIPMENT AS SHOWN ON PLANS.
- O. FURNISH AND INSTALL INSULATION FOR ALL HOT/CHILLED WATER PIPING.
- P. GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE FINAL DATE OF ACCEPTANCE.

3. WORK NOT INCLUDED

- THE FOLLOWING ITEMS OF WORK SHALL BE PROVIDED UNDER OTHER CONTRACTS:
- A. FINISHED PATCHING AND PAINTING.
4. NOISE CONTROL
- A. ALL INSTALLATION SHALL BE IN A MANNER THAT THE NOISE CRITERIA LEVEL IN THE SPACE SHALL NOT EXCEED NC-35. NOISE LEVELS ABOVE THIS LIMIT WILL NOT BE ACCEPTABLE AND SHOULD BE CORRECTED BY THIS CONTRACTOR AT NO EXPENSE TO THE OWNER.
- B. ALL SUPPLY AND RETURN DUCTWORK SHALL BE PROVIDED WITH 1" INTERNAL ACOUSTIC LINING AT LEAST 20" FROM EACH AIR HANDLING UNIT. ALL DUCTWORK DIMENSIONS NOTED ON THE PLANS ARE CLEAR INSIDE DIMENSIONS.

5. VIBRATION CONTROL

- A. ALL INSTALLATIONS SHALL BE IN SUCH A MANNER THAT VIBRATION FROM ROTATING EQUIPMENT IS ISOLATED FROM DUCTWORK, PIPING AND THE BUILDING STRUCTURE.
- B. FLEXIBLE CONNECTIONS SHALL BE PROVIDED AT ALL LOCATIONS WHERE RIGID DUCTWORK CONNECTS TO FANS, AIR HANDLERS, OR OTHER EQUIPMENT CAPABLE OF PRODUCING OBJECTIONABLE VIBRATION. FLEXIBLE CONNECTIONS SHALL BE 30 OZ. NEOPRENE COATED FABRIC SECURED WITH HEAVY DUTY BANDS OR GRIPS.
- C. FLEXIBLE CONNECTIONS SHALL BE PROVIDED AT ALL LOCATIONS WHERE PIPING CONNECTS TO PUMPS OR OTHER EQUIPMENT CAPABLE OF PRODUCING OBJECTIONABLE VIBRATION.
- D. ALL EQUIPMENT SUPPORTED FROM THE BUILDING STRUCTURE SHALL BE PROVIDED WITH SPRING-TYPE VIBRATION ISOLATORS.

6. SHEET METAL DUCTWORK

- A. ALL RECTANGULAR DUCTWORK, UNLESS OTHERWISE NOTED, SHALL BE BUILT FROM GALVANIZED SHEET STEEL AND THOROUGHLY BRAZED & STIFFENED. ALL DUCTWORK DIMENSIONS NOTED ON THE PLANS ARE CLEAR INSIDE DIMENSIONS.
- B. FABRICATION OF SHEET METAL DUCTS SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF ASHRAE, LATEST EDITION, OR AS PER SMACNA DUCT CONSTRUCTION HANDBOOK. ALL BRANCH DUCTWORK AND TAKE-OFFS SHALL BE PROVIDED WITH VOLUME DAMPERS.
- C. CONTRACTOR SHALL SEAL ALL DUCTWORK JOINTS WITH 3M EG-800 OR APPROVED EQUAL.
- D. UNLESS OTHERWISE NOTED, ALL DUCTWORK SHALL BE CONCEALED WITHIN CEILING, WALLS, FLOORS AND SHAFTS.
- E. ALL DUCTWORK GAUGES AND INSTALLATION SHALL CONFORM TO THE LATEST EDITION OF SMACNA STANDARDS.
- F. CHANGES IN SHAPE AND DIMENSION SHALL CONFORM TO THE FOLLOWING, EXCEPT WHERE OTHERWISE NOTED FOR WORKS IN CORROSION-RESISTANT AREA, THE SHAPE OF THE TRANSFORMATION SHALL NOT EXCEED 1" IN 1' SPACE. CONDITIONS PERMITTING: EXCEPT WHERE OTHERWISE NOTED, CORROSION-RESISTANT AREA, THE SLOPE SHALL NOT BE LESS THAN 1" IN 1' SPACE. CONDITIONS PERMITTING.
- G. THE CONSTRUCTION FOR LOW PRESSURE RECTANGULAR SHEET METAL DUCTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF ASHRAE GUIDE, LATEST EDITION OR AS PER SMACNA MANUAL, BUT NOT LESS THAN THE FOLLOWING HEIGHTS AND CONSTRUCTION.

LOW PRESSURE, RECTANGULAR/ROUND DUCTWORK STANDARDS

DIMENSION OF LONGEST SIDE OF DUCT (INCHES)	MINIMUM GAUGE OF SHEET METAL FOR ALL FOUR SIDES OF DUCT		TRANSVERSE REINFORCING AT AND BETWEEN DUCT JOINTS
	STEEL (GAUGE)	ALUMINUM (THICKNESS (INCHES))	
UP THRU 12	26	0.0220	1" POCKET LOCK 24 GAUGE, STANDING SEAM JOINT 24 GAUGE, 1" STANDING S SLIP 24 GAUGE. JOINT MAX ON 8 FT. CENTERS.

- H. FLAT AREAS OF DUCT OVER 10 IN. WIDE SHALL BE STIFFENED BY CROSS BREAKING OF BEADING.
- I. ALL JOINTS SHALL HAVE CORNER CLOSURES.
- J. PROVIDE 3M CO-5 GASKET EG-1002 GASKET AT FLANGED JOINTS AND ALL SLIP JOINTS SHALL BE SEALED WITH 3M CO-5 EG-800. JOINTS SHALL BE MAXIMUM 6" FEET CENTERS.
- K. THIS CONTRACTOR MAY ELECT THE OPTION OF USING STANDARD PREFABRICATED SPIRAL CONSTRUCTION CONDUIT AND PREFABRICATED FITTINGS AS MADE BY UNITED SPIRAL CO. OR APPROVED EQUAL. ALL JOINTS SHALL BE SEALED WITH 3M CO-5 EG-800.
- L. ALL JOINTS IN A DUCT SYSTEM MUST BE TIGHT IN ORDER TO ENSURE PROPER AIR DISTRIBUTION AND STRUCTURAL INTEGRITY. DUCT SUPPORT SHALL NOT EXCEED 10 FEET.
7. FLEXIBLE DUCTWORK
- A. FLEXIBLE DUCTWORK SHALL BE PERMITTED FOR USE BETWEEN BRANCH DUCTWORK AND CEILING DIFFUSERS IN LENGTHS NOT EXCEEDING 6'-0".
- B. LOW PRESSURE FLEXIBLE DUCTWORK SHALL BE A FACTORY ASSEMBLY OF LOW FRICTION POLYMER INNER LINER APPLIED OVER A MECHANICALLY INTERLOCKED, GALVANIZED STEEL HELIX. INSULATION SHALL BE FIBERGLASS WITH A THERMAL CONDUCTANCE OF NOT MORE THAN 0.025. THE OVERALL ASSEMBLY SHALL BE JACKETED WITH A POLYETHYLENE VAPOR BARRIER HAVING A PERMEANCE OF NOT GREATER THAN 0.1 WHEN TESTED IN ACCORDANCE WITH ASTM M96. PROCEDURE A, ASSEMBLY SHALL BE RATED FOR A MAXIMUM WORKING PRESSURE OF 4" H₂O, POSITIVE; 4" H₂O, NEGATIVE, 4,000 FPM MAXIMUM VELOCITY AND -30°F TO 250°F OPERATING TEMPERATURE. MINIMUM BURST PRESSURE SHALL BE NOT LESS THAN 250% OF RATED WORKING PRESSURE. DUCT SHALL BE LISTED AS CLASS 07 OR CLASS 17 FLEXIBLE AIR DUCT UNDER UL 181 AND SHALL BE SO IDENTIFIED. FLAME SPREAD RATING SHALL BE LESS THAN 25. UL SMOKE DEVELOPED RATING SHALL BE LESS THAN 50. LOW PRESSURE FLEXIBLE DUCT SHALL BE "TYPE S-INSULATED" AS MANUFACTURED BY FLEXMASTER U.S.A., INC. OR ENGINEER APPROVED EQUAL.
- C. ALL FLEXIBLE DUCTWORK SHALL BE SECURED USING HEAVY DUTY, STAINLESS STEEL CLAMPS.

8. PIPING

- A. ALL PIPE SHALL BE NEW, FREE FROM SCALE OR RUST, OF THE MATERIAL AND HEIGHT SPECIFIED UNDER THE VARIOUS SERVICES. EACH LENGTH OF PIPE SHALL BE PROPERLY MARKED AT THE MILL FOR PROPER IDENTIFICATION WITH NAME OR SYMBOL OF MANUFACTURER.
- B. ALL FITTINGS USED AT EXPANSION LOOPS OR BENDS SHALL BE EXTRA HEAVY.
- C. ALL HOT/CHILLED WATER PIPING SHALL BE SCHEDULE 40 STEEL.
- D. PROVIDE NECESSARY STRUCTURAL MEMBERS, HANGERS AND SUPPORTS OF APPROVED DESIGN TO KEEP PIPING IN PROPER ALIGNMENT AND PREVENT TRANSMISSION OF UNDESIRABLE THROSTS AND VIBRATIONS. IN ALL CASES WHERE HANGERS, BRACKETS, ETC. ARE SUPPORTED FROM METAL DECKING AND/OR CONCRETE OR CONCRETE OR PENETRATE WATERPROOFING, ALL HANGERS AND SUPPORTS SHALL BE CAPABLE OF SUREN ADJUSTMENT AFTER PIPING IS ERECTED. HANGERS SUPPORTING PIPING EXPANDING INTO LOOPS, BENDS AND OFFSETS SHALL BE SECURED TO THE BUILDING STRUCTURE IN SUCH A MANNER THAT HORIZONTAL ADJUSTMENT PERPENDICULAR TO THE RUN OF PIPING SUPPORTED MAY BE MADE TO ACCOMMODATE DISPLACEMENT DUE TO EXPANSION. ALL SUCH HANGERS SHALL BE FINALLY ADJUSTED, BOTH IN THE VERTICAL AND HORIZONTAL DIRECTION, WHEN THE SUPPORTED PIPING IS HOT OR CHILLED, AS REQUIRED.
- E. ALL VERTICAL PIPING SHALL BE ANCHORED BY MEANS OF HEAVY STEEL CLAMPS SECURELY BOLTED OR WELDED TO THE PIPING AND WITH END EXTENSION BEARING ON THE BUILDING.
- F. ALL PIPING SHALL BE ERECTED SO AS TO ENSURE A PERFECT AND NOISELESS CIRCULATION THROUGHOUT THE SYSTEM.
- G. ALL VALVES AND SPECIALTIES SHALL BE SO PLACED AS TO PERMIT EASY OPERATION AND ACCESS.
- H. PROVIDE PROPER PROVISION FOR EXPANSION AND CONTRACTION IN ALL PORTIONS OF PIPEWORK, TO PREVENT UNDESIRABLE STRAINS ON PIPING OR APPARATUS CONNECTED THEREWITH. PROVIDE DOUBLE SWINGS AT RISER TRANSFERS AND OTHER OFFSETS WHEREVER POSSIBLE TO TAKE UP EXPANSION. ARRANGE RISER BRANCHES TO TAKE UP MOTION OF RISER.
- I. THE ENDS OF ALL PIPE AND NIPPLES SHALL BE THOROUGHLY REAMED TO THE FULL INSIDE DIAMETER OF THE PIPE AND ALL BURS FORMED IN THE CUTTING OF THE PIPES SHALL BE REMOVED.
- J. PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE ASME CODE FOR PRESSURE PIPING.
- K. PIPING AT ALL EQUIPMENT AND CONTROL VALVES SHALL BE SUPPORTED TO PREVENT STRAINS OR DISTORTIONS IN THE CONNECTED EQUIPMENT AND CONTROL VALVES. PIPING SHALL BE SUPPORTED TO ALLOW FOR REMOVAL OF EQUIPMENT, VALVES AND ACCESSORIES WITH A MINIMUM OF DISMANTLING AND WITHOUT REQUIRING ADDITIONAL SUPPORTS AFTER THESE ITEMS ARE REMOVED.
- L. MISCELLANEOUS DRAINS, VENTS, RELIEFS, AND OVERFLOWS FROM TANKS, EQUIPMENT, PIPING, RELIEF VALVES, PUMPS, ETC., SHALL BE RUN TO THE NEAREST OPEN SIGHT DRAIN OR ROOF DRAIN. PROVIDE DRAIN VALVES. MEMBER REQUIRED FOR COMPLETE DRAINAGE OF PIPING, INCLUDING THE SYSTEM SIDE OF ALL PUMPS.
- M. INSTALL AIR VENTS IN CONDENSER, CHILLED AND HOT WATER PIPING AT ALL HIGH POINTS.

9. INSULATION

- A. PIPE INSULATION SHALL BE HEAVY DENSITY FIBERGLASS SECTIONAL PIPE INSULATION WITH A MAXIMUM FACTOR OF 0.23 AT 15 DEGREES F MEAN TEMPERATURE WITH FACTORY APPLIED ALL SERVICE VAPOR BARRIER JACKET. DENSITY SHALL BE NOT LESS THAN 3 LBS. PER CU. FT.
- B. INSULATE ALL HOT/CHILLED WATER PIPING WITH 1-1/2" FIBERGLASS INSULATION WITH VAPOR BARRIER.

10. SHOP DRAWINGS

- A. PRIOR TO ISSUING SHOP DRAWING SUBMITTALS FOR THE ENGINEER'S REVIEW, THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW ALL OF THE SUBMITTAL DATA. THE CONTRACTOR SHALL STAMP EACH SHOP DRAWING CERTIFYING THAT THE CONTRACTOR'S REVIEW HAS BEEN COMPLETED AND THAT COORDINATION HAS BEEN ESTABLISHED.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK WITH THE WORK OF ALL OTHER TRADES. ALL SHOP DRAWINGS SHALL ILLUSTRATE THAT COORDINATION HAS BEEN ESTABLISHED. FOR SHEETMETAL PIPING AND EQUIPMENT LAYOUTS COMPOSITE DRAWINGS SHALL BE SUBMITTED. FIELD RELATED CONFLICTS SHALL BE RESOLVED BY THE CONTRACTOR.
- C. SUBMIT SHOP DRAWINGS PROVIDE A MINIMUM OF FIVE COPIES TO ARCHITECT FOR ENGINEERS APPROVAL) COVERING THE FOLLOWING ITEMS:
1. DUCTWORK.
 2. PIPING.
 3. PIPE HANGERS AND SUPPORTS.
 4. PIPE INSULATION.
 5. FAN COIL UNITS.
 6. FANS.
 7. CONTROLS.
 8. AIR/HYDRONIC BALANCING REPORT.
- D. THE ENGINEER'S SHOP DRAWING APPROVAL SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLY WITH ALL OF THE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS (i.e. PLANS, SCHEDULES, DETAILS, NOTES AND SPECIFICATIONS, ETC.).

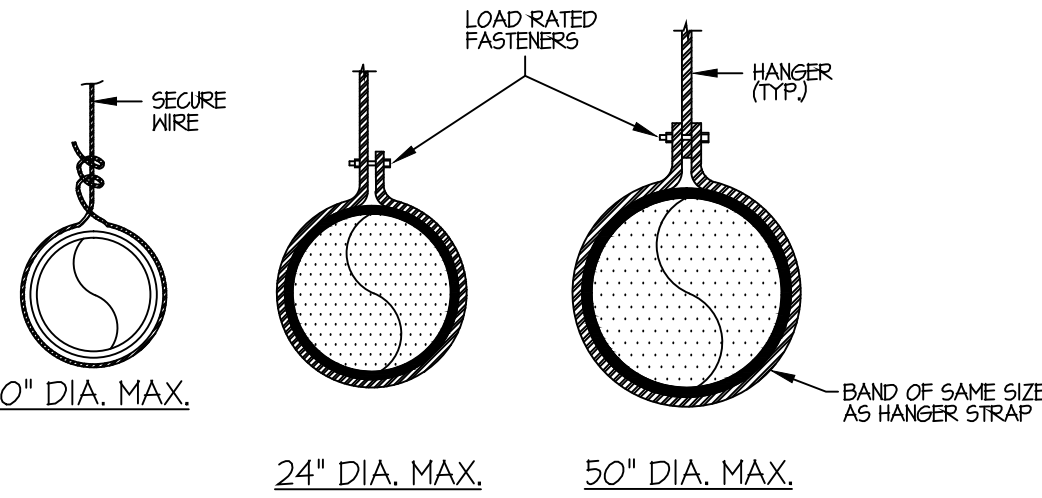
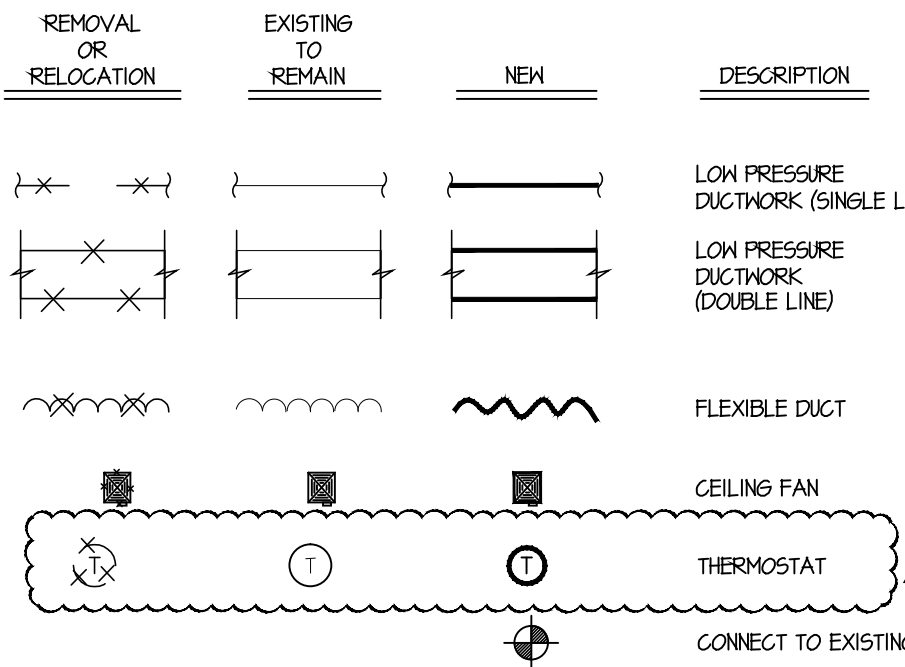
11. TESTS AND BALANCING

- A. THE WORK OF THIS CONTRACTOR SHALL INCLUDE THE FURNISHING OF ALL TESTING INSTRUMENTS, GAUGES, AND OTHER EQUIPMENT REQUIRED FOR NECESSARY TESTS, REQUIRED BY LAW, RULES AND REGULATIONS AND AS SPECIFIED.
- B. NO VISIBLE LEAKS, LOSSES IN PRESSURE, OR INCREASE IN VACUUM SHALL OCCUR DURING TEST PERIOD.
- C. PROVIDE ALL OTHER TESTS REQUIRED BY BUILDING DEPARTMENT, FIRE DEPARTMENT AND ALL OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- D. TESTS SHALL BE PERFORMED IN THE PRESENCE AND TO THE SATISFACTION OF THE ARCHITECT AND SUCH OTHER PARTIES AS MAY HAVE LEGAL JURISDICTION.
- E. OPERATE THE INSTALLATION AFTER COMPLETION FOR PERIOD NECESSARY TO MAKE ALL REQUIRED ADJUSTMENTS FOR AUTOMATIC CONTROLS, AIR OUTLETS AND FANS, UNTIL ALL PERFORMANCE CHARACTERISTICS ARE MET.
- F. ENGAGE THE SERVICES OF APPROVED INDEPENDENT AIR AND HYDRONIC BALANCING COMPANY TO BALANCE THE SYSTEM AND ISSUE AN AIR AND HYDRONIC BALANCING REPORT FOR ENGINEER'S APPROVAL. THE INDEPENDENT BALANCING COMPANY SHALL BE SUBJECT TO THE ENGINEER'S APPROVAL. THE TEST SHALL BE PERFORMED BY A PERSON HAVING A MINIMUM OF 5 YEARS EXPERIENCE IN TESTING AND BALANCING AIR AND HYDRONIC SYSTEMS.
- G. UPON COMPLETION OF THE INSTALLATION, THE AIR AND HYDRONIC BALANCE AND TESTING, SUBCONTRACTOR SHALL MAKE THE NECESSARY ADJUSTMENTS TO BALANCE THE SYSTEM. PROVIDE ANY EXTRA MANUAL VOLUME DAMPERS REQUIRED FOR PROPER AIR BALANCE.
- H. AT THE COMPLETION OF THE TEST, THE CONTRACTOR SHALL FURNISH THE ARCHITECT SEVEN (7) COPIES OF THE FINAL TEST REPORT.

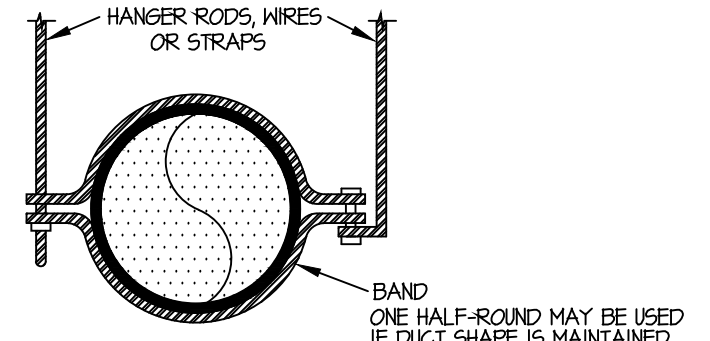
12. GUARANTEE

- A. THE CONTRACTOR GUARANTEES BY HIS ACCEPTANCE OF THE CONTRACT THAT ALL WORK INSTALLED WILL BE FREE FROM ANY AND ALL DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION AND ACCEPTANCE OF WORK.

HVAC SYMBOLS FOR ALTERATION WORK



NOTE: HANGERS MUST NOT DEFORM DUCT SHAPE.



METHOD OF HANGING ROUND DUCTWORK

DUCT DIAMETER	ROD DIAMETER	STRAP	WIRE DIAMETER	MAXIMUM SPACING
UP TO 10"	1/4"	1" X 22 ga.	ONE (1) 12 ga.	12'-0" O.C.
11" TO 18"	1/4"	1" X 22 ga.	THO (2) 12 ga. ONE (1) 8 ga.	12'-0" O.C.
18" TO 24"	1/4"	1" X 22 ga.	THO (2) 10 ga.	12'-0" O.C.
25" TO 36"	3/8"	1" X 20 ga.	THO (2) 8 ga.	12'-0" O.C.
37" TO 50"	(2) 3/8"	THO (2) 1" X 20 ga.	-	12'-0" O.C.
51" TO 60"	(2) 3/8"	THO (2) 1" X 18 ga.	-	12'-0" O.C.
61" TO 84"	(2) 3/8"	THO (2) 1" X 16 ga.	-	12'-0" O.C.

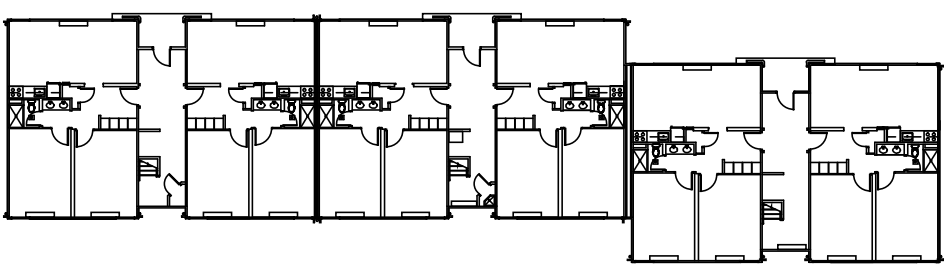
PIPING INSULATION NOTE:

CONTRACTOR SHALL INSPECT ALL EXISTING HOT/CHILLED WATER PIPING INSULATION THROUGHOUT THE BUILDING, INCLUDING CRAWL SPACE AND REPAIR OR REPLACE INSULATION AS REQUIRED.

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	2	ISSUED FOR BIDDING
03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED FOR ADDENDUM #1

Key Plan



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Project

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AT THE
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OF NEW JERSEY

505 Ramapo Valley Road
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DCA PROJECT# 9071-15

Client

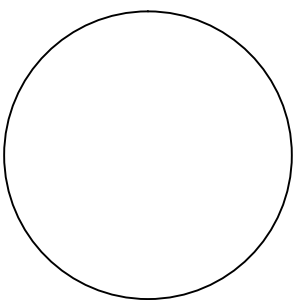
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Cert./Lic. No.	
Date	02-03-15
Scale	AS NOTED
Drawn By	PS/Cadd
Checked By	ND
Dwg. Title	

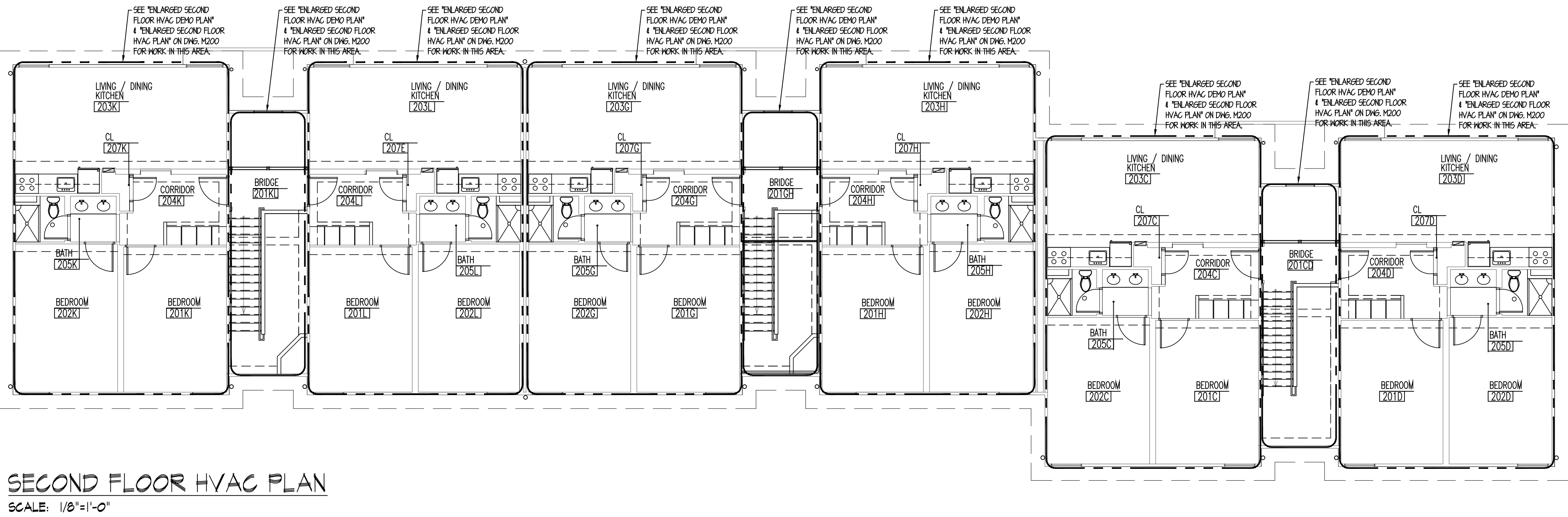
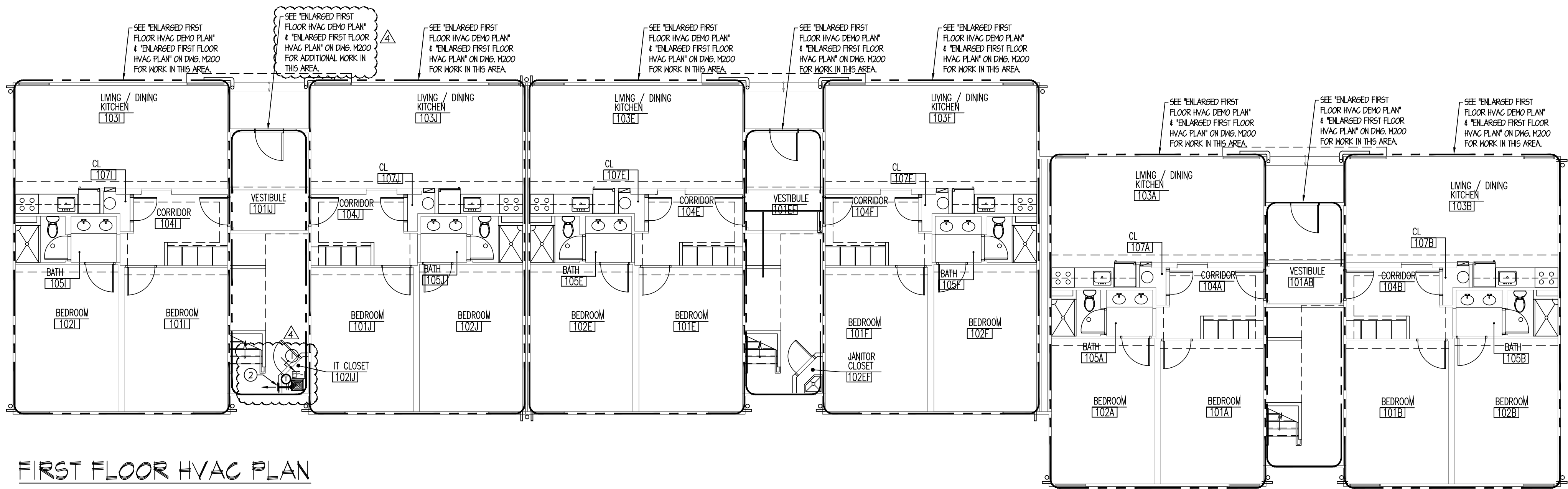
HVAC NOTES, DETAILS AND SYMBOLS

Work Order No. Dwg. No.

4698G MO01

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PA #036014-E



SCHEDULE OF FANS												
GENERAL						FAN DATA				MOTOR		REMARKS
UNIT NO.	SERVICE	LOCATION	MANUFACTURER MODEL No.	TYPE/ DESIGN	HEIGHT LBS.	TOTAL AIR QUANTITY	STAT. PRESS. (IN. WG)	FAN RPM	TYPE DRIVE	MIN. SIZE (HP,3)	VOLT. PHASE CYCLE	
EF-1	IT CLOSET	SEE DWG.	GREENECK SP-A340	CEILING	25	300	0.25	1153	DIRECT	1/50 HP	115V/60	SEE NOTES: 1, 2, 3, 4, 5, 6

- NOTES:
1. PROVIDE DISCONNECT SWITCH.
 2. ALL FANS SHALL BE LICENSED TO BEAR THE AHCA CERTIFIED RATINGS SEAL FOR SOUND AND AIR PERFORMANCE. ALL FANS TO BE UL LISTED.
 3. PROVIDE HALL MOUNTED THERMOSTAT.
 4. PROVIDE FAN WITH SOLID STATE SPEED CONTROL.
 5. PROVIDE HANGING BRACKETS AND SPRING ISOLATORS.
 6. PROVIDE DESIGNER GRILLE.

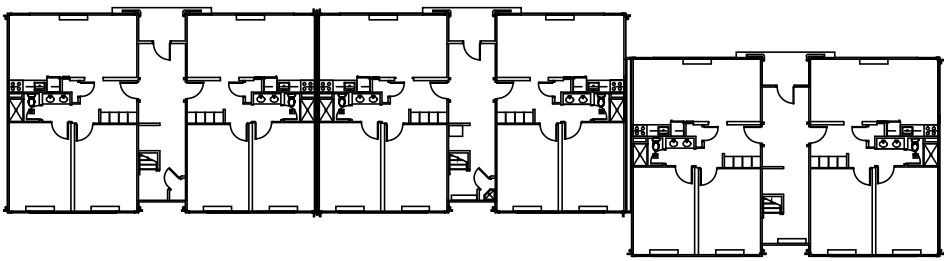
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Project

INTERIOR RENOVATIONS
AT THE
MIMOSA - G RESIDENCE

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT# 9071-15

Client

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

SNS Architects & Engineers, PC

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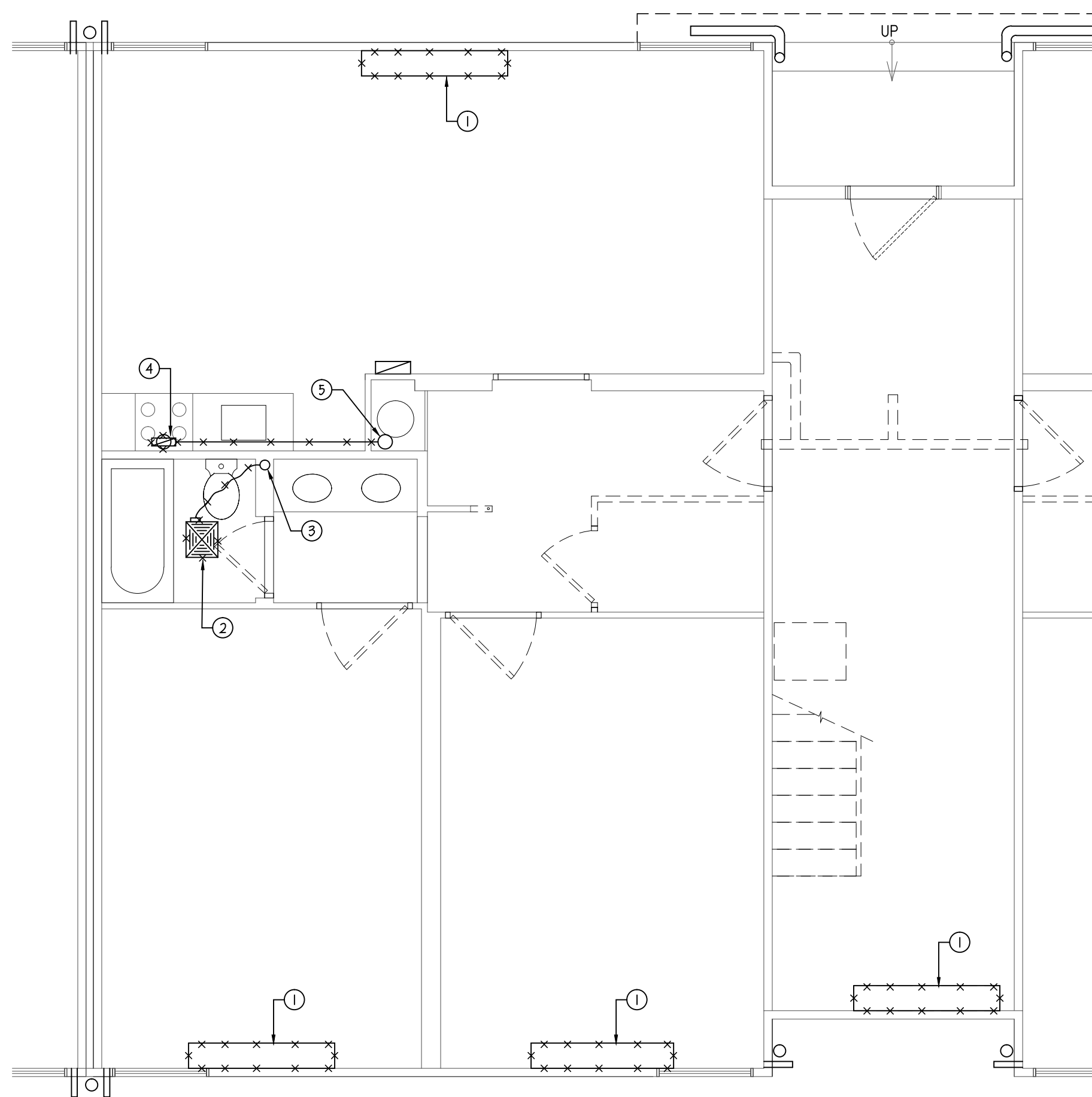
Fay W. Logan, AIA
John M. Lignos, AIA
Lorin J. Sonenshine, AIA
Steven Napolitano, PE

Cert./Lic. No.
Date 02-03-15 Scale AS NOTED
Drawn By PNC/edd Checked By MD

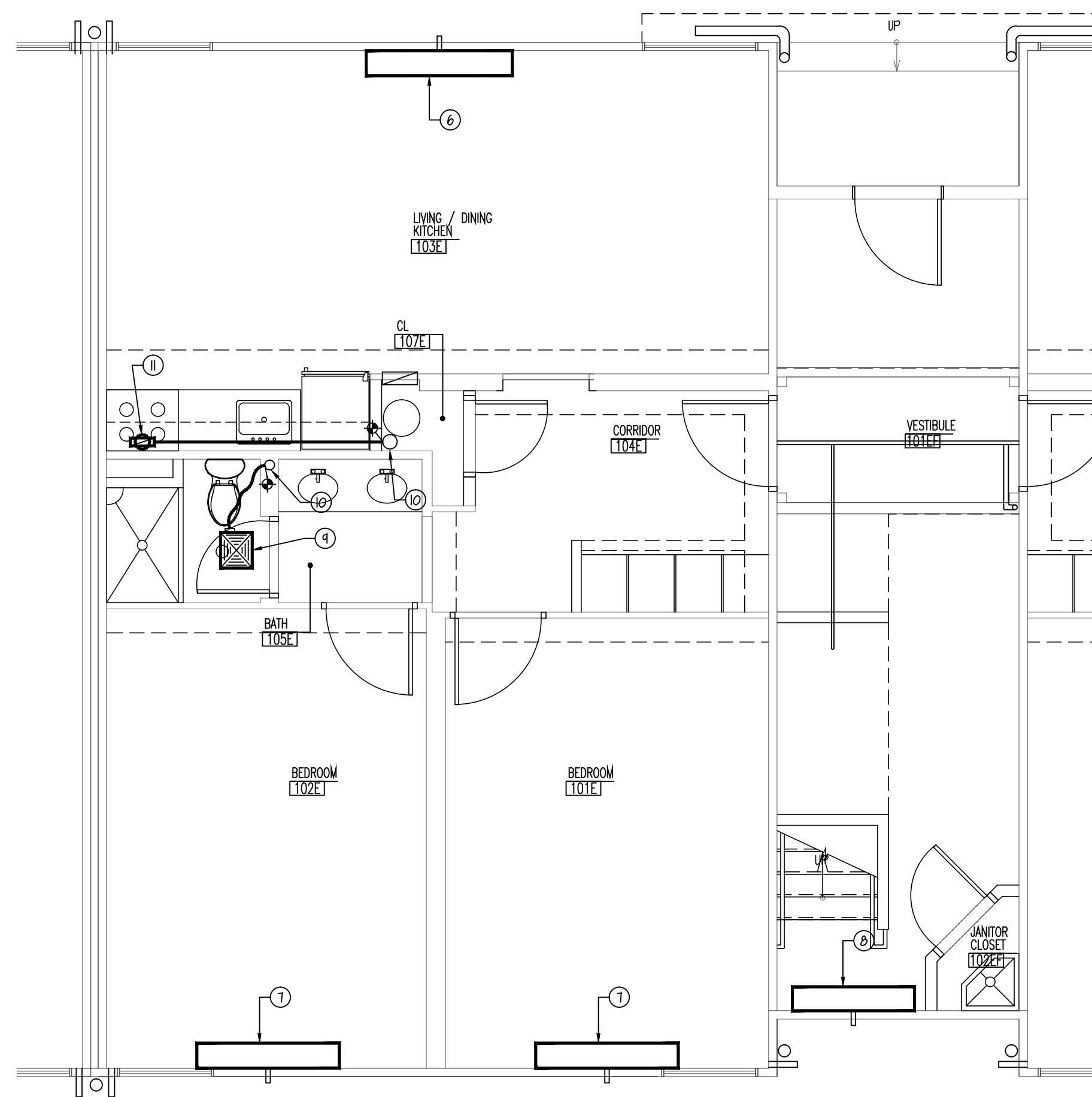
Dwg. Title
FIRST & SECOND FLOOR HVAC PLANS

Work Order No. Dwg. No.

4698G M100



ENLARGED FIRST FLOOR HVAC DEMO PLAN
SCALE: 1/4"=1'-0"

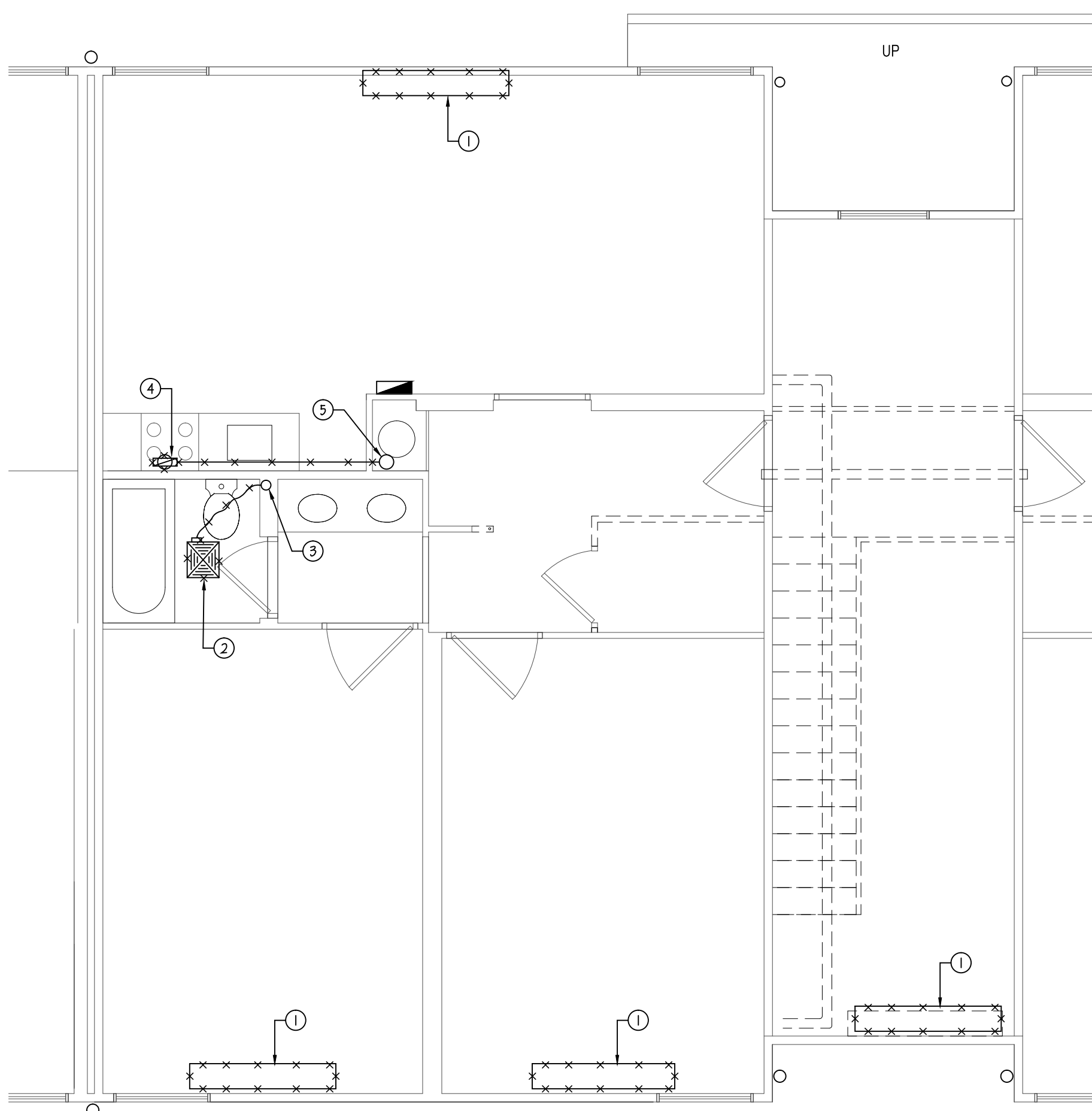


ENLARGED FIRST FLOOR HVAC PLAN
SCALE: 1/4"=1'-0"

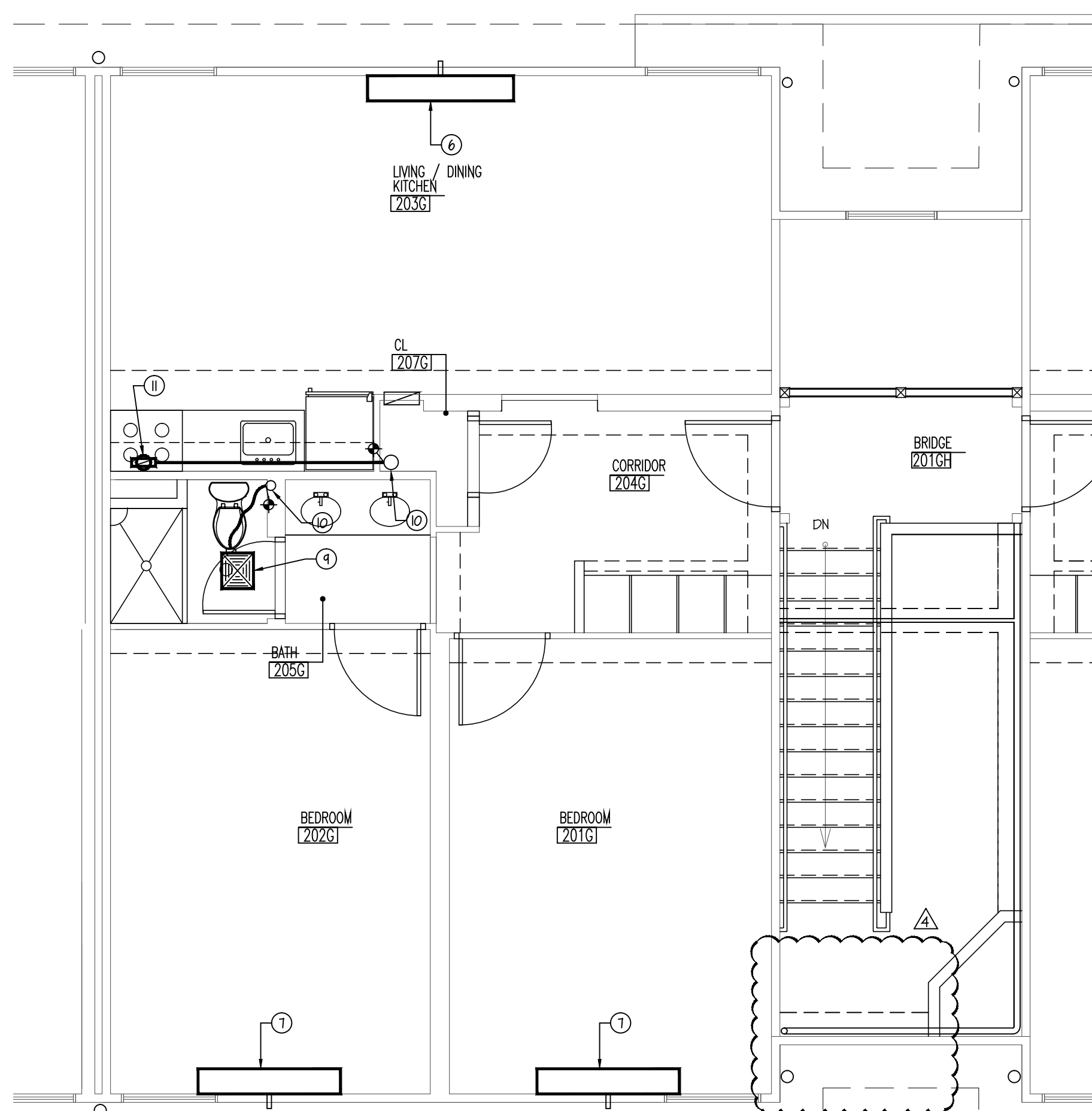
- KEY NOTES:

- 1 REMOVE EXISTING FAN COIL UNIT.
- 2 REMOVE EXISTING TOILET EXHAUST FAN AND FLEXIBLE DUCT.
- 3 EXISTING 4"X6" TOILET EXHAUST DUCT RISER TO REMAIN.
- 4 REMOVE EXISTING MOOD EXHAUST DUCT.
- 5 EXISTING 6"X8" MOOD EXHAUST DUCT RISER TO REMAIN.
- 6 NEW FAN COIL UNIT MANUFACTURED BY TRANE, MODEL "TEB0004AAA000A000A000", RE-CONNECT TO FAN COIL UNIT AS REQUIRED. PROVIDE NEW 1/2"X6" COOPER DRAIN PIPE WITH COPPER EQUIPMENT AT EXTERIOR WALL.
- 7 NEW FAN COIL UNIT MANUFACTURED BY TRANE, MODEL "TEB0004AAA000A000A000", RE-CONNECT TO FAN COIL UNIT AS REQUIRED. PROVIDE NEW 1/2"X6" COOPER DRAIN PIPE WITH COPPER EQUIPMENT AT EXTERIOR WALL.
- 8 NEW FAN COIL UNIT MANUFACTURED BY TRANE, MODEL "TEB0004AAA000A000A000", EXTEND AND RE-CONNECT TO FAN COIL UNIT AS REQUIRED. PROVIDE NEW 1/2"X6" COOPER DRAIN PIPE WITH COPPER EQUIPMENT AT EXTERIOR WALL.
- 9 NEW EXHAUST FAN MANUFACTURED BY BORGAN, MODEL "50"X6" TO CONNECT TO EXISTING DUCT TO EXTERIOR FLEXIBLE DUCT.
- 10 NEW 4"X6" JOINTS IN EXISTING TOILET AND KITCHEN DRAIN DUCT RISERS WITH NEW MASTIC.
- 11 NEW 1/2"X3"X4" DUCT TRANSITION TO 6"X8" TO RUN IN GROUND TO CONNECT TO EXISTING EXHAUST DUCT.

NOTE:
ALL DEMOLITION WORK IS BY OTHERS UNDER
SEPARATE CONTRACT AND FILED UNDER
SEPARATE DCA PERMIT.



ENLARGED SECOND FLOOR HVAC DEMO PLAN
SCALE: 1/4"=1'-0"



ENLARGED SECOND FLOOR HVAC PLAN
SCALE: 1/4"=1'-0"

Michael T. Davina, P.E.
NJ #48654
CT #0025779

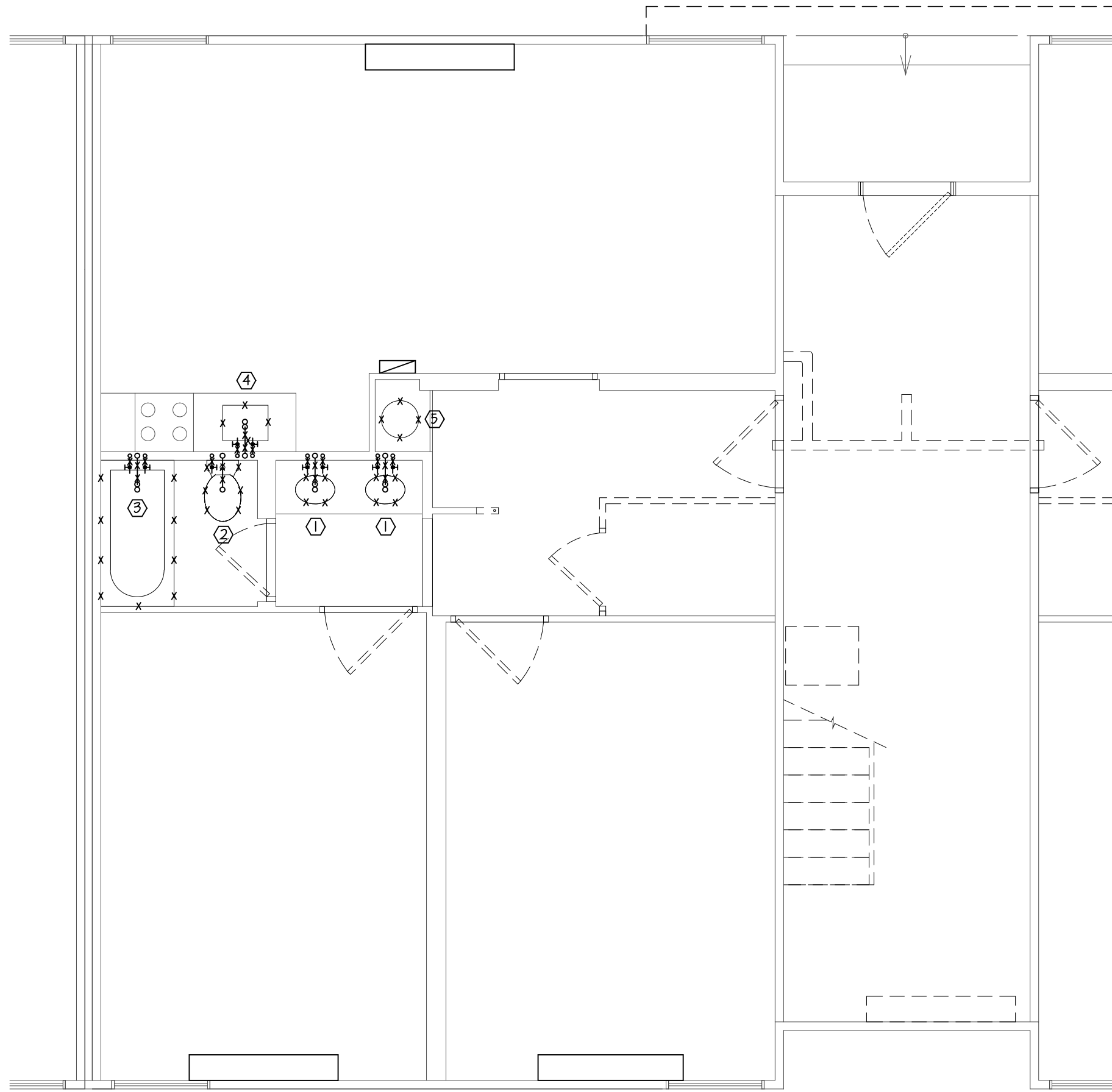
Robert J. Hatch, P.E.

Cert./Lic. No.			
Date	02-03-15	Scale	A5 NOTED
Drawn By	P5/Cork1	Checked By	MD

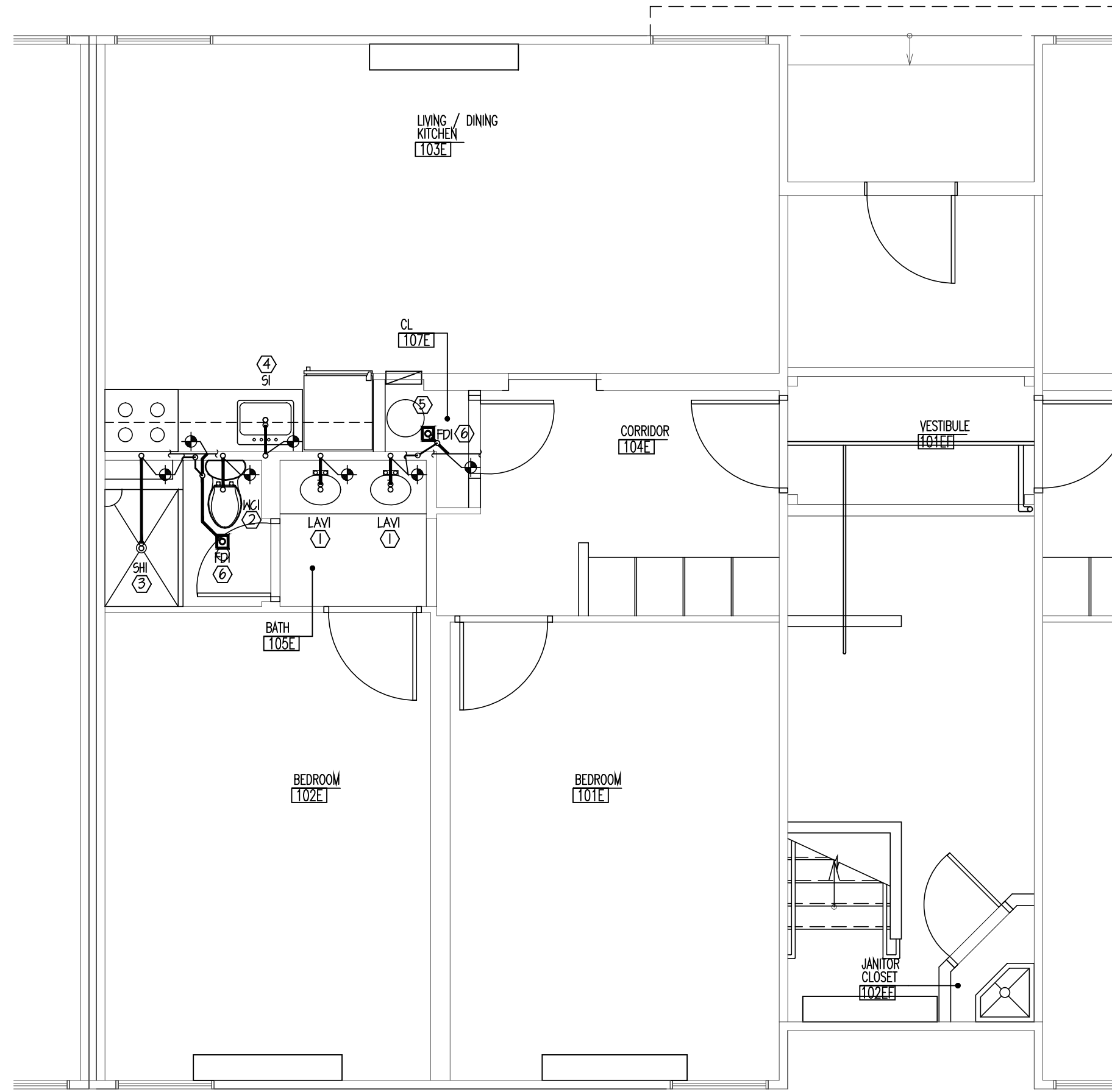
Dwg. Title
ENLARGED FIRST & SECOND FLOOR
HVAC PLANS

Work Order No. _____ Dwg. No. _____

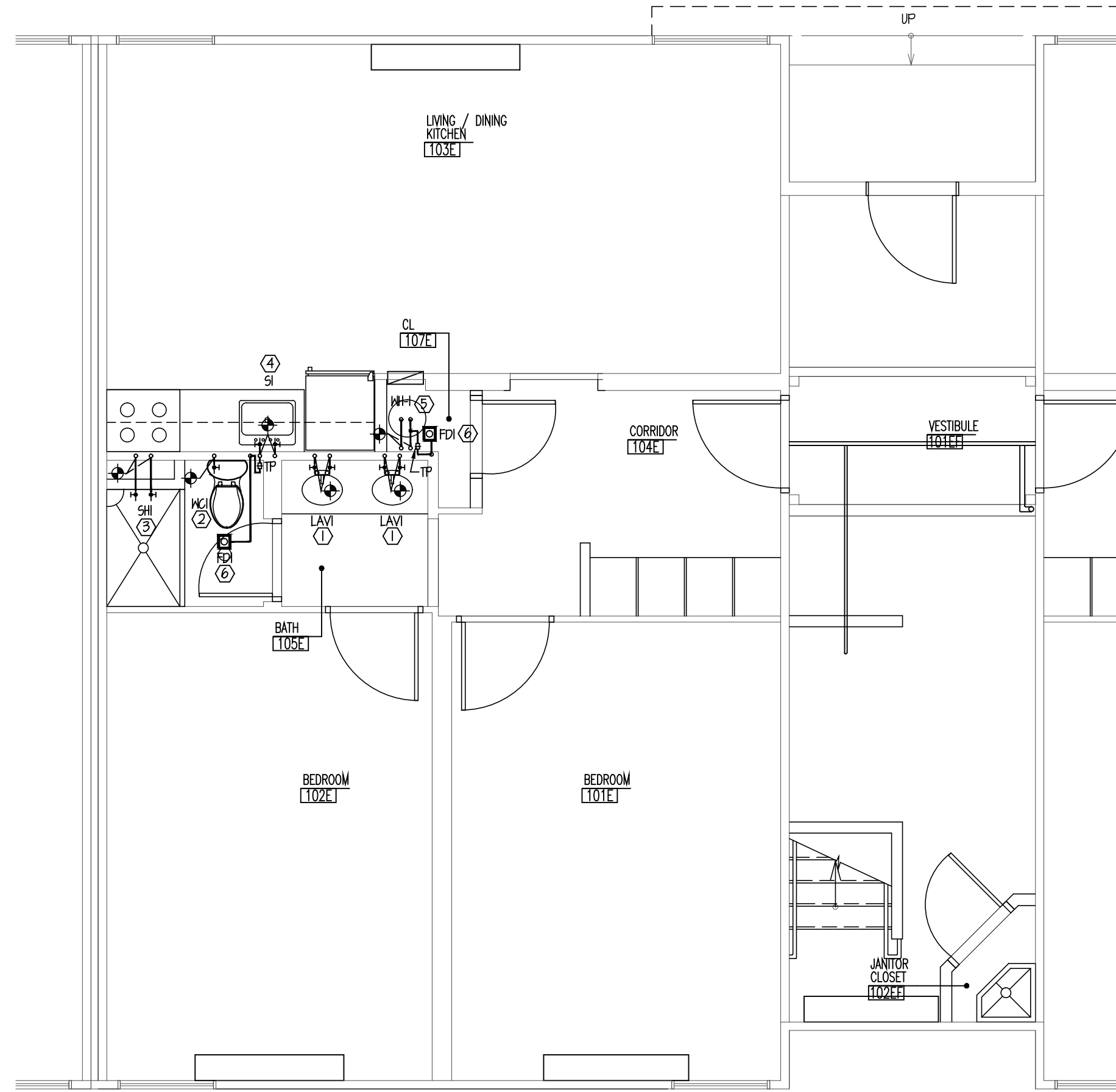
4698G M200



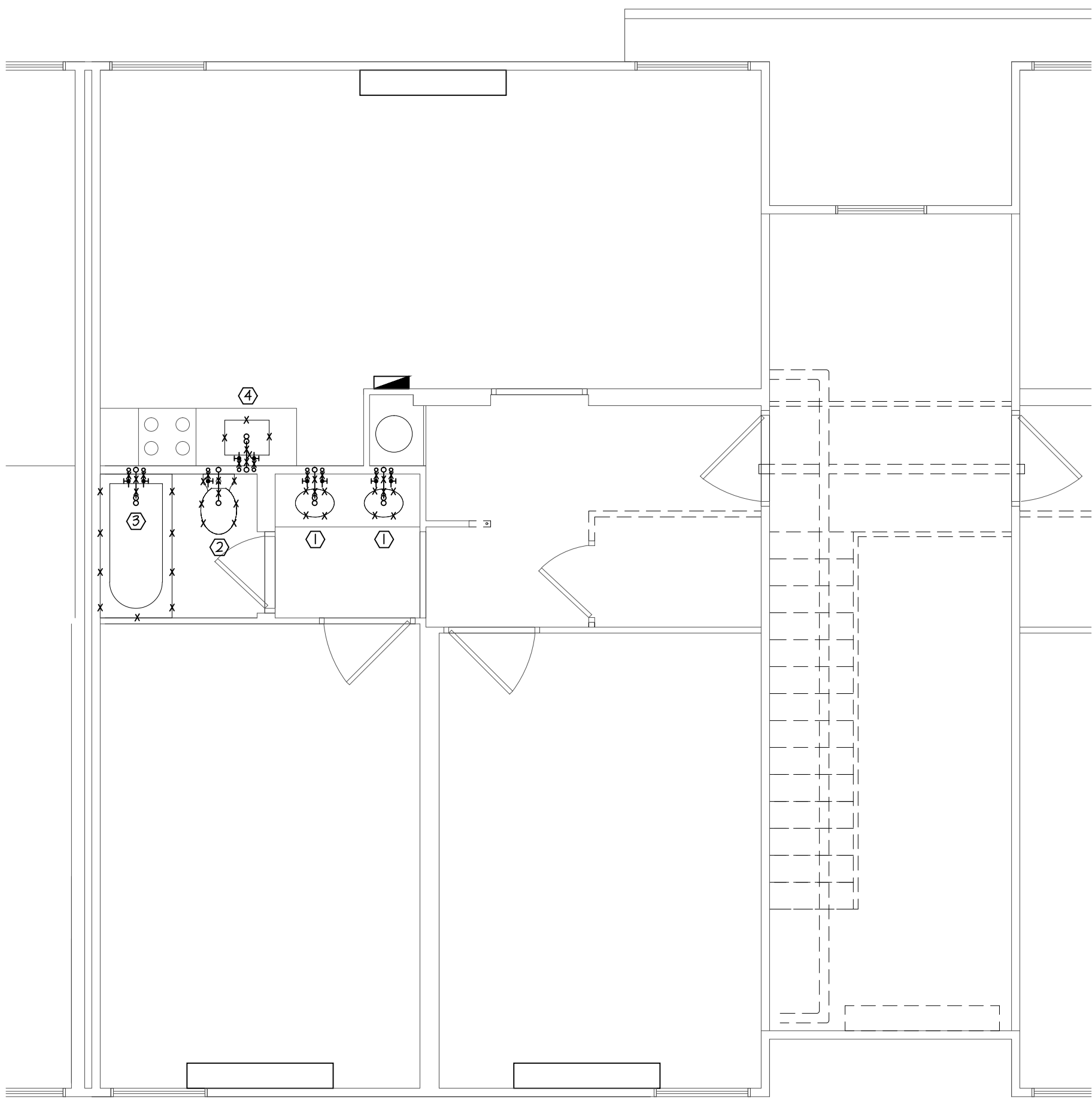
ENLARGED FIRST FLOOR PLUMBING DEMO PLAN
SCALE: 1/4"=1'-0"



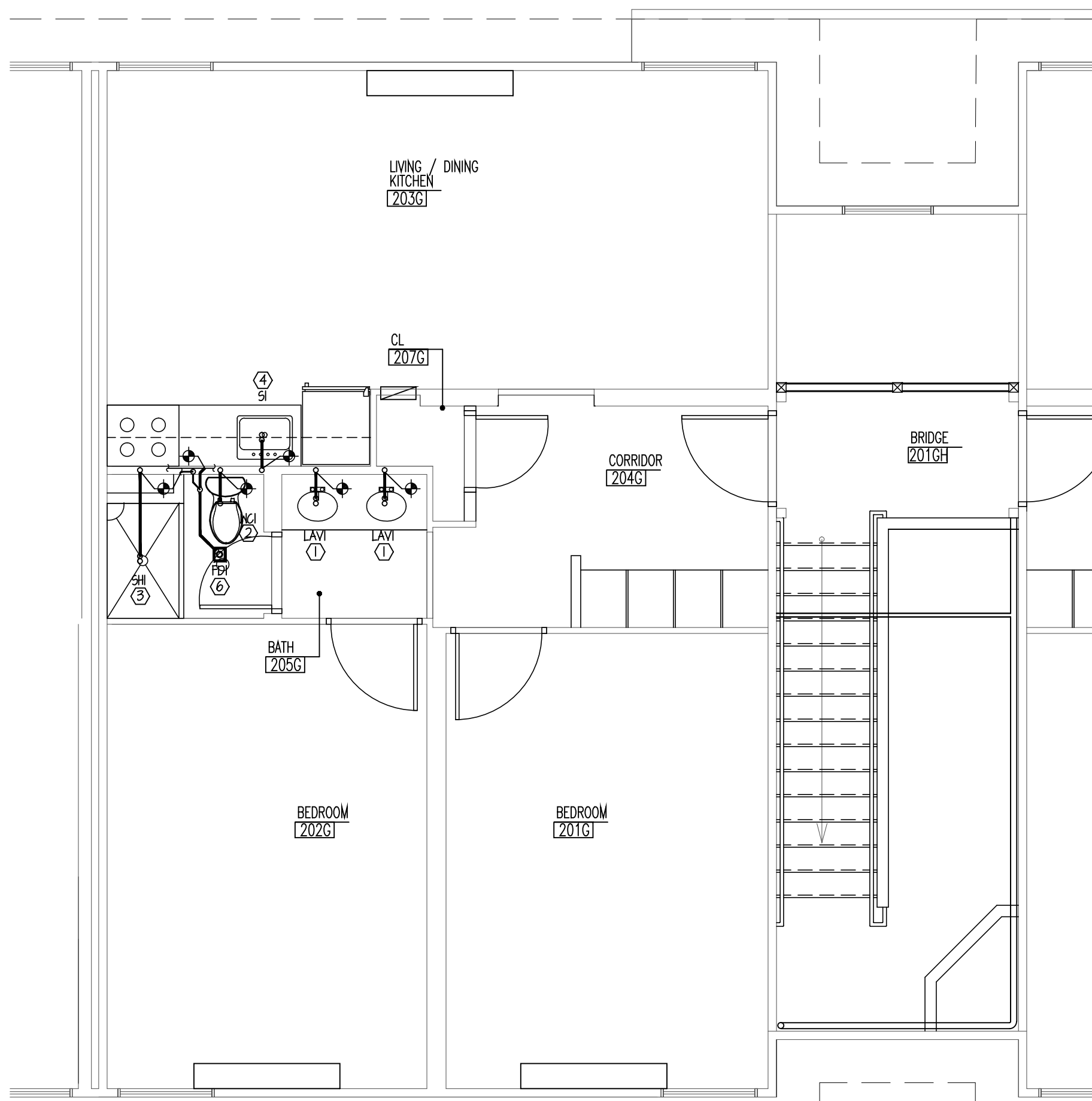
ENLARGED FIRST FLOOR SANITARY PLAN
SCALE: 1/4"=1'-0"



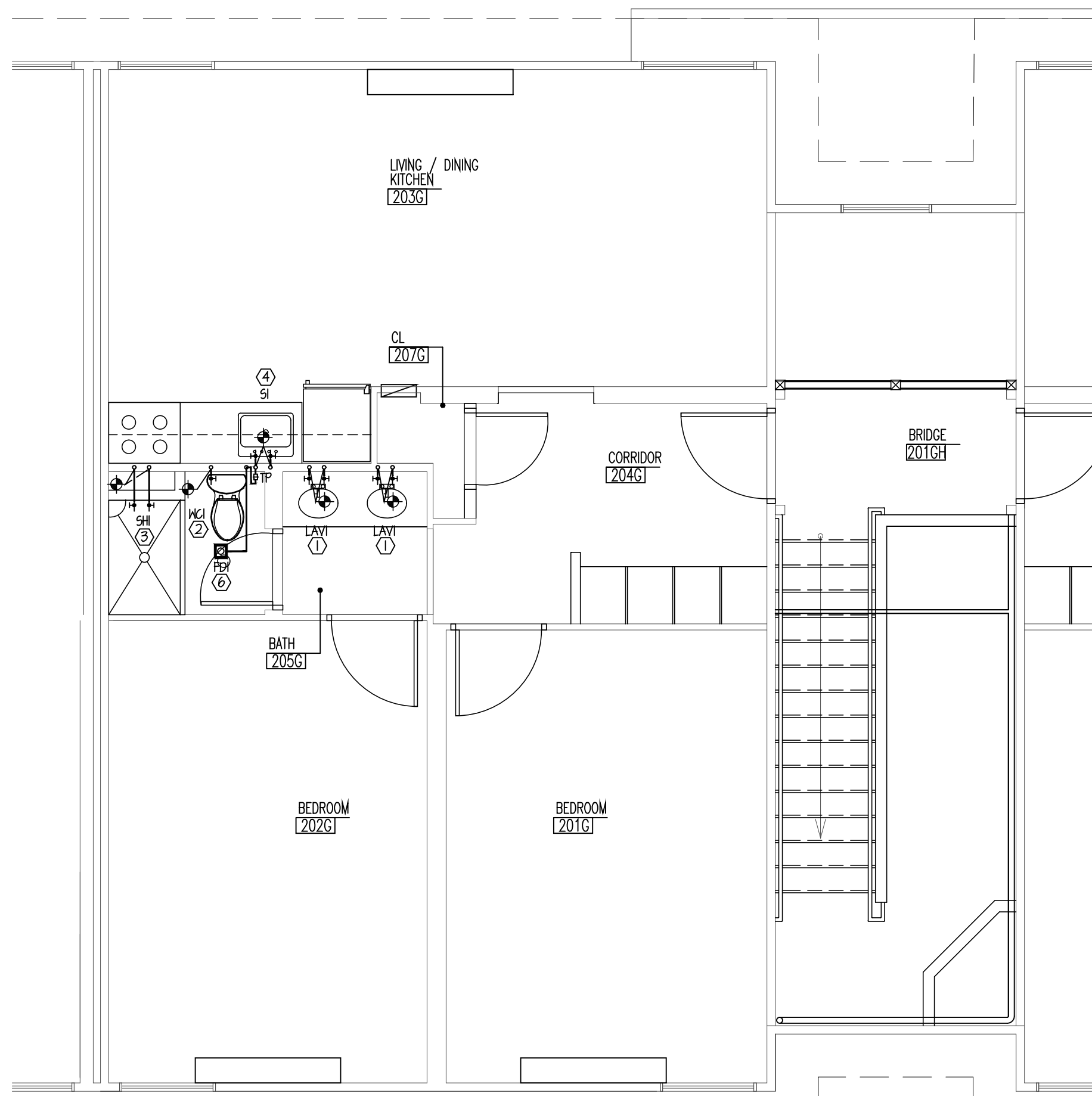
ENLARGED FIRST FLOOR DOMESTIC WATER PLAN
SCALE: 1/4"=1'-0"



ENLARGED SECOND FLOOR PLUMBING DEMO PLAN
SCALE: 1/4"=1'-0"



ENLARGED SECOND FLOOR SANITARY PLAN
SCALE: 1/4"=1'-0"



ENLARGED SECOND FLOOR DOMESTIC WATER PLAN
SCALE: 1/4"=1'-0"

KEY NOTES (DEMO PLAN)

- EXISTING LAVATORY TO BE REMOVED. REMOVE EXISTING TRAP, TAIL PIECE, WASTE ARM, WALL ESCUTCHEON, FLEX SUPPLIES, STOP VALVES ETC. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW FIXTURE.
- EXISTING FLOOR MOUNT WATER CLOSET TO BE REMOVED. REMOVE EXISTING FIXTURE, EXPOSED HARDWARE AND VALVES. MODIFY EXISTING SANITARY, VENT, DOMESTIC COLD WATER LINES, ETC. AS REQUIRED TO ALLOW FOR NEW FIXTURE.
- EXISTING BATHROOM TO BE REMOVED. REMOVE EXISTING HARDWARE AND VALVES, ETC. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW SHOWER FIXTURE.
- EXISTING KITCHEN SINK TO BE REMOVED. REMOVE EXISTING TRAP, TAIL PIECE, WASTE ARM, WALL ESCUTCHEON, FLEX SUPPLIES, STOP VALVES ETC. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW FIXTURE.
- EXISTING WATER HEATER TO BE REMOVED. MODIFY EXISTING DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW WATER HEATER.

NOTE:
ALL DEMOLITION WORK IS BY OTHERS UNDER
SEPARATE CONTRACT AND FILED UNDER
SEPARATE DCA PERMIT WITH EXCEPTION OF
DEMO KEY NOTE #5 (REMOVAL OF WATER HEATER)

KEY NOTES (SAN. & DW PLAN)

- NEW LAVATORY TO BE INSTALLED. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW FIXTURE. PROVIDE NEW WASTE ARM, WALL ESCUTCHEON, TRAP WITH CLEANOUT, TAILPIECE, STOP VALVES, FLEX SUPPLIES AND FAUCETS FOR ALL LAVS AND INSULATION KITS FOR ACCESSIBLE LAVS.
- NEW FLOOR MOUNTED WATER CLOSET TO BE INSTALLED. MODIFY EXISTING SANITARY, VENT, DOMESTIC COLD WATER LINES, ETC. AS REQUIRED TO ALLOW FOR NEW FIXTURE. PROVIDE NEW WASTE ARM, WALL ESCUTCHEON, TRAP WITH CLEANOUT, TAILPIECE, STOP VALVES, FLEX SUPPLIES AND FAUCET.
- NEW SHOWER TO BE INSTALLED. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW FIXTURE. PROVIDE NEW WASTE ARM, WALL ESCUTCHEON, TRAP WITH CLEANOUT, TAILPIECE, STOP VALVES, FLEX SUPPLIES AND FAUCETS FOR ALL SHOWERS.
- NEW KITCHEN SINK TO BE INSTALLED. MODIFY EXISTING SANITARY, VENT AND DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW FIXTURE. PROVIDE NEW WASTE ARM, WALL ESCUTCHEON, TRAP WITH CLEANOUT, TAILPIECE, STOP VALVES, FLEX SUPPLIES AND FAUCET.
- NEW HOT WATER HEATER TO BE INSTALLED. MODIFY EXISTING DOMESTIC HOT AND COLD WATER LINES AS REQUIRED TO ALLOW FOR NEW WATER HEATER. PROVIDE NEW VALVES, EXPANSION TANK, RELIEF VALVES, ETC.
- NEW FLOOR DRAIN TO BE INSTALLED. MODIFY EXISTING SANITARY, VENT, DOMESTIC COLD WATER LINES, ETC. AS REQUIRED TO ALLOW FOR NEW FLOOR DRAIN. PROVIDE FLOOR DRAIN WITH NEW TRAP PRIMER.

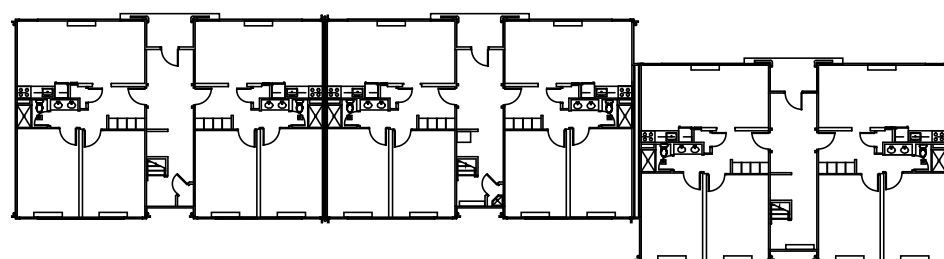
Michael T. Davina, P.E.
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CA #616118
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MA #48516
NJ #35419
NY #019975
PA #036014-E

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	2	ISSUED FOR BIDDING
03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED FOR ADDENDUM #1

Key Plan



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Cert./Lic. No.

Date 02-03-15 Scale AS NOTED

Drawn By MD Checked By sg

Dwg. Title

ENLARGED FIRST & SECOND FLOOR
PLUMBING PLANS

Work Order No.

4698G

Dwg. No.

P200

4698G A000

BUILDING DEPARTMENT NOTES

RAMPO COLLEGE OF NJ "C"-HOLLY RESIDENCE INTERIOR RENOVATION

1. PROJECT LOCATION: MAHWAH, NEW JERSEY
2. PROJECT SCOPE/SUMMARY

THE PURPOSE OF THIS PROJECT IS THE RENOVATION OF EXISTING BATHROOMS, KITCHENS, BEDROOMS & LIVING ROOMS

IN GENERAL, THE CONSTRUCTION WILL INCLUDE PLUMBING FIXTURE REPLACEMENT, GYP. BD. FOR PARTITIONS, DOORS, HARDWARE, ACCESSORIES, FINISHES, ETC., PLUS MODIFICATIONS TO THE ELECTRICAL AND PLUMBING SYSTEMS. THE EXPOSED SPRINKLER PIPE WILL BE ENCLOSED IN SOFFITS AND THE SPRINKLER HEADS WILL BE CONCEALED. ELECTRICAL AND PLUMBING DRAWINGS FOR THIS PROJECT HAVE BEEN PREPARED BY LEA AS ENGINEERING, INC. CONSULTANTS TO SNS ARCHITECTS & ENGINEERS, PC.

THERE WILL BE NO DIMINUITION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION. THERE IS NO STRUCTURAL WORK INVOLVED WITH THIS PROJECT.

3. BUILDING DESCRIPTION

THE EXISTING BUILDING CONSISTS OF A TWO-STORY DORMITORY BUILDING WITH A CRAWL SPACE. THE BUILDING HAS A LIMITED SPRINKLER SYSTEM.

4. APPLICABLE REGULATIONS

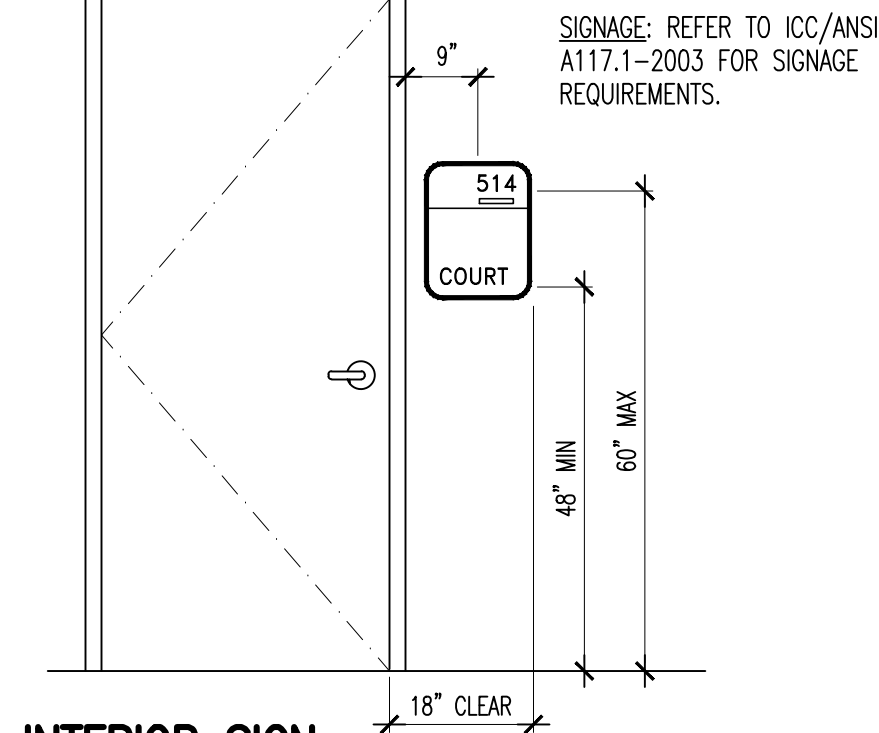
- A. N.J.A.C. 5:23-6 REHABILITATION SUBCODE
 1. CURRENT THROUGH ALL UP TO DATE REVISIONS
 2. ADOPTING REHABILITATION SUBCODE, N.J.A.C. 5:23-6.
- B. N.J.A.C. 5:23-6 REHABILITATION SUBCODE
 1. N.J.A.C. 5:23-6.1 (A) 1: THE PROVISIONS OF OTHER SUBCODES OF THE UNIFORM CONSTRUCTION CODE DO NOT APPLY TO WORK IN EXISTING BUILDINGS UNLESS THE PROVISIONS OF THE REHABILITATION SUBCODE SPECIFICALLY REFERENCE THEM AND MAKE THEM APPLICABLE.
 2. THE REHABILITATION SUBCODE REFERENCES PARTS OF THE FOLLOWING MODEL CODES:
 - A. 2009 INTERNATIONAL BUILDING CODE / NJ EDITION.
 - B. 2009 NATIONAL STANDARD PLUMBING CODE.
 - C. 2009 INTERNATIONAL MECHANICAL CODE.
 - D. 2009 INTERNATIONAL FUEL GAS CODE.
 - E. 2011 NATIONAL ELECTRIC CODE.
 - F. 2007 ASHRAE ENERGY STANDARD 90.1.
 - G. NJ BARRIER FREE SUBCODE, N.J.A.C. 5:23-7, AND 2003 ICC / ANSI A117.1 - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

C. CONSTRUCTION DESIGNED BY LINWOOD ENGINEERING ASSOCIATES, P.A.

1. MECHANICAL
 2. ELECTRICAL
 3. FIRE PROTECTION
 4. PLUMBING
5. BUILDING OCCUPANCY
- EXISTING: USE GROUP: "R-2" DORMITORY
 - PROPOSED: SAME (NO CHANGE)
6. CONSTRUCTION CLASSIFICATION
- EXISTING: TYPE V-B
 - PROPOSED: SAME (NO CHANGE)
7. EXISTING BUILDING AREA: NO CHANGE
8. EXISTING BUILDING HEIGHT: 2 STORES (NO CHANGE)
9. FIRE RESISTANCE RATING REQUIREMENTS

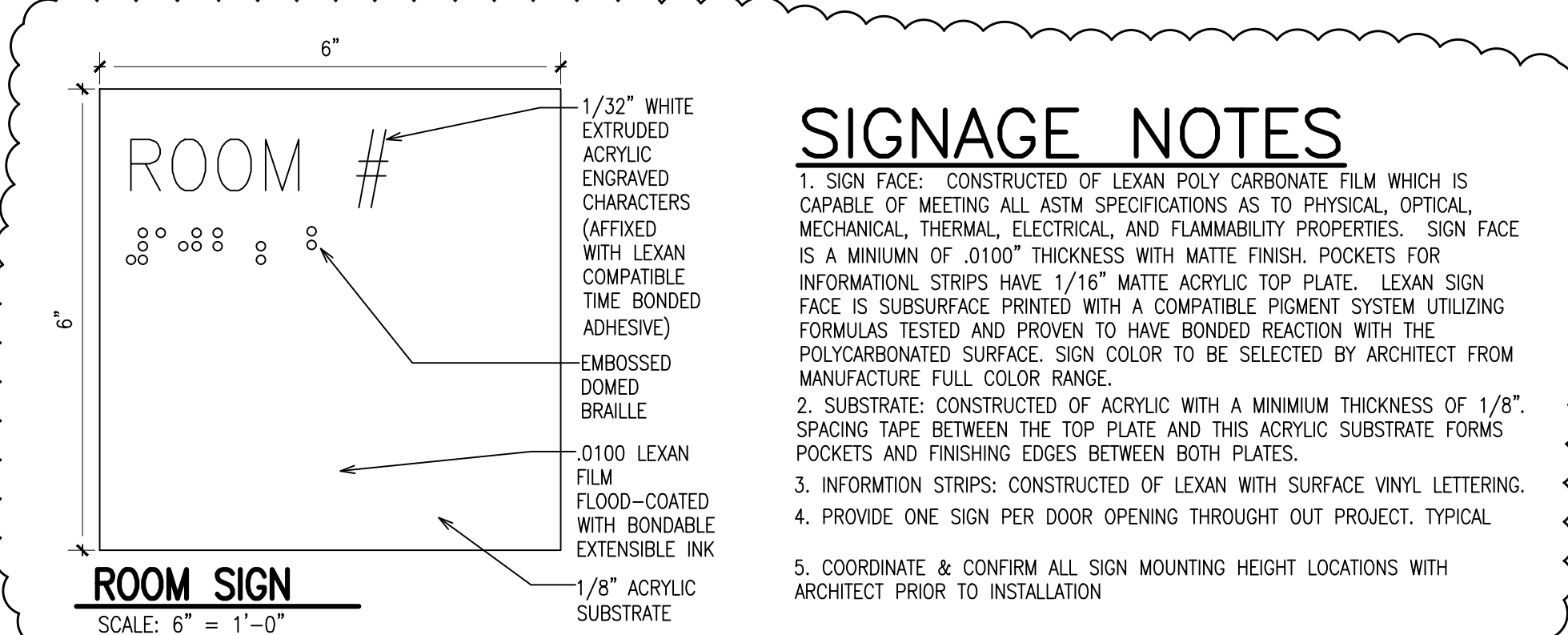
STRUCTURAL ELEMENTS	RATING, REQ'D CONST. CLASS TYPE V-B	RATING PROVIDED	CODE REFERENCE
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	0 HR	0 HR	TABLE 601
BEARING WALLS			
EXTERIOR	0 HR	0 HR	TABLE 601
INTERIOR	0 HR	0 HR	TABLE 601
NON-BEARING WALLS AND PARTITIONS			
EXTERIOR	0 HR	0 HR	TABLE 601 & 602
INTERIOR	0 HR	0 HR	TABLE 601
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HR	0 HR	
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HR	0 HR	

10. MEANS OF EGRESS: NO CHANGE
11. INTERIOR FINISHES: INTERIOR FINISHES SHALL COMPLY WITH CHAPTER B OF IBC NJ 2009 AND REHABILITATION SUBCODE 5:23-6.11 (C).



INTERIOR SIGN LOCATION ELEVATION

SCALE: 1/2" = 1'-0"



SIGNAGE NOTES

1. SIGN FACE: CONSTRUCTED OF LEXAN POLY CARBONATE FILM WHICH IS CAPABLE OF MEETING ALL ASTM SPECIFICATIONS AS TO PHYSICAL, OPTICAL, MECHANICAL, THERMAL, ELECTRICAL, AND FLAMMABILITY PROPERTIES. SIGN FACE IS A MINIMUM OF .0100\"/>
2. SUBSTRATE: CONSTRUCTED OF ACRYLIC WITH A MINIMUM THICKNESS OF 1/8\"/>
3. INFORMATION STRIPS: CONSTRUCTED OF LEXAN WITH SURFACE VINYL LETTERING.
4. PROVIDE ONE SIGN PER DOOR OPENING THROUGHOUT PROJECT. TYPICAL
5. COORDINATE & CONFIRM ALL SIGN MOUNTING HEIGHT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION

DEMOLITION NOTES

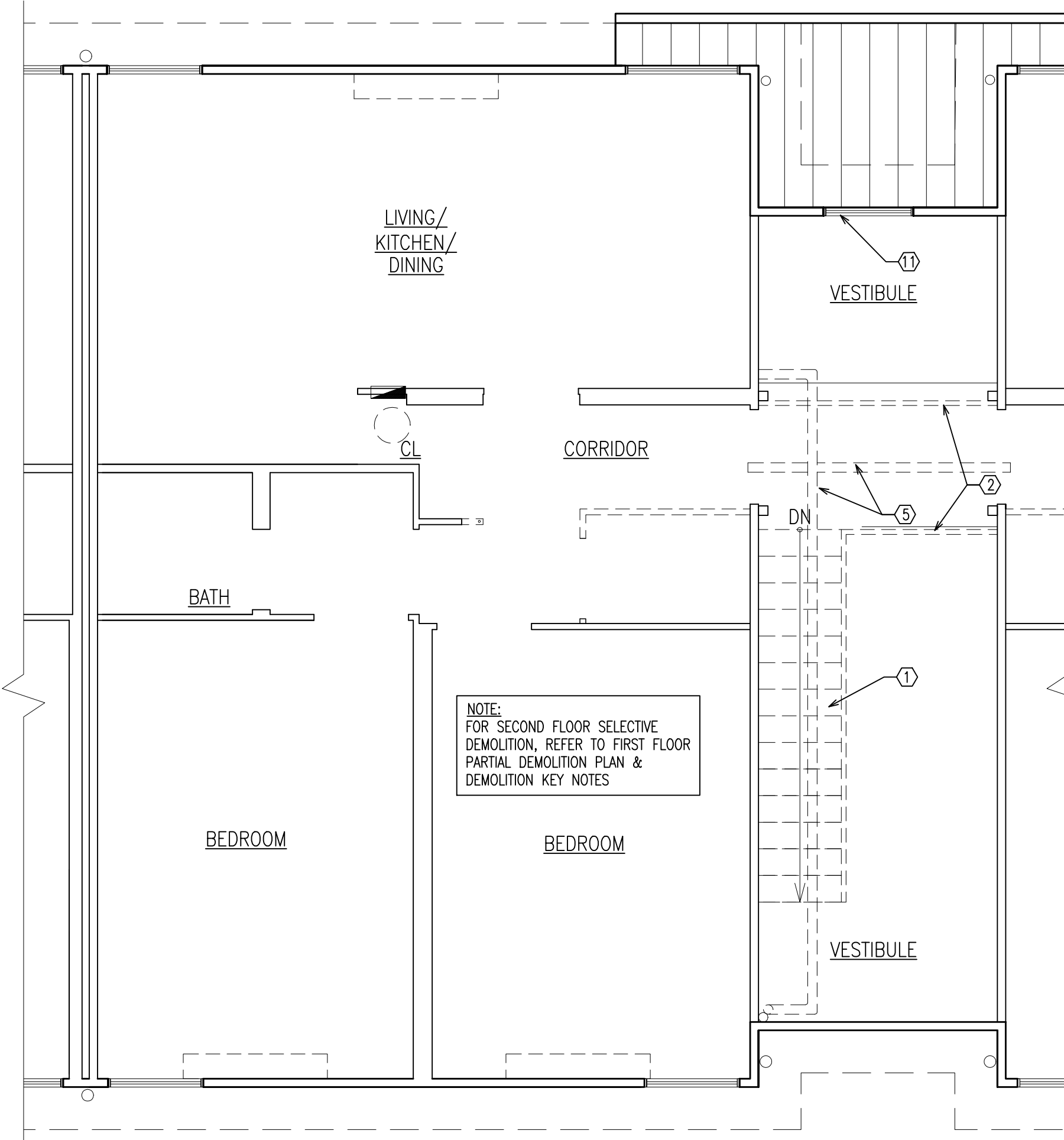
1. THE CONTRACTOR SHALL FULLY ACQUANT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
2. TEMPORARY PROTECTION: PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUSTPROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS. TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.
3. CONTRACTORS TO VERIFY EXISTING WALLS, FLOORS, & CEILINGS, ETC. HAVE BEEN REMOVED OF ALL MATERIALS DOWN TO EXISTING STUDS / JOISTS / SUBFLOOR AND ALL OUTLETS, VENTS, THERMOSTATS, ETC. ARE IN THE CORRECT LOCATION PRIOR TO THE INSTALLATION OF ALL NEW FINISH MATERIAL. CONTRACTORS SHALL VERIFY THE LIMITS OF DEMOLITION TO ENABLE WORKMEN TO IDENTIFY ANY ITEMS LEFT IN PLACE THAT NEED TO BE REMOVED & WHAT ITEMS TO BE LEFT IN PLACE INTACT.
4. SUBCONTRACTORS SHALL INSPECT ALL DEMOLITION AREAS PRIOR TO BEGINNING WORK.
5. PREPARE ALL SURFACES AS REQUIRED (PER MANUFACTURER'S SPECIFICATIONS) TO RECEIVE NEW FINISHES.
6. REMOVE ALL EMBEDDED ITEMS SUCH AS TOGGLE BOLTS, EXPANSION BOLTS, SCREWS, WALLS, PLASTIC & METAL INSERTS AND ANY OTHER ITEMS LEFT IN PLACE & PREVENTING THE APPLICATION OF NEW FINISHES IN AN ACCEPTABLE MANNER.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR OBTAINING PERMITS, CERTIFICATES, ETC. FROM THE UTILITY COMPANY FOR ALL TEMPORARY SHUT-OFFS. UTILITY SERVICE SHALL BE RESTORED TO THE BUILDING AS SOON AS SAFELY POSSIBLE.
8. ALL PENETRATIONS (PLUMBING, ELECTRICAL) THROUGH WALLS & FLOORS DUE TO BUT NOT LIMITED TO DEMOLITION TO BE SEALED, CAPPED, AND LEVELLED SMOOTH WITH ADJACENT MATERIALS.
9. G.C. SHALL PROTECT ALL AREAS OF THE EXISTING STRUCTURE, FROM WEATHER & OTHER RELATED HAZARDS.
10. G.C. SHALL PREPARE ALL EXISTING FLOOR SURFACES AS REQUIRED TO RECEIVE NEW FLOOR FINISHES AS PER MANUFACTURER'S RECOMMENDATIONS.
11. G.C. TO FOLLOW THE ENLARGED FIRST FLOOR DEMO PLAN BELOW FOR EACH FIRST & SECOND FLOOR TYPICAL DORMITORY LOCATED THROUGHOUT THE ENTIRE BUILDING.
12. G.C. TO REMOVE ALL ELECTRICAL, PHONE & DATA OUTLETS ARE TO BE REMOVED THROUGHOUT THE ENTIRE SPACE AT BOTH FLOORS.
13. CRAWL SPACE SCOPE OF WORK:
NOTE: THAT PLAN OF CRAWL SPACE BELOW FIRST FLOOR IS NOT SHOWN.
 1. G.C. TO REMOVE CORRODED OR DAMAGED OR INADEQUATE HANGERS AND SUPPORTS FOR UTILITIES AT CRAWL SPACE BELOW FIRST FLOOR. REPLACE WITH ADEQUATE HARDWARE AS REQ'D, V.I.F.
 2. G.C. TO REMOVE ALL OBSOLETE CABLE & WIRING AT CRAWL SPACE BELOW FIRST FLOOR OF ELECTRICAL AND LOW VOLTAGE SYSTEMS THAT ARE IDENTIFIED BY RAMAPO COLLEGE FACILITIES DEPT. G.C. IS RESPONSIBLE NOT TO REMOVE ANY ACTIVE SYSTEMS & WILL BE RESPONSIBLE TO REINSTALL IF REMOVED. COORDINATE WITH ENGINEER'S DRAWINGS.
14. ALL MISC. PLYWOOD STRIPS THAT ARE SCREWED TO STUDS SHALL BE REMOVED TO PROVIDE FOR A SMOOTH GYP. BD. INSTALLATION / FINISH. CONTRACTOR SHALL PROVIDE BLOCKING / BRACING WITHIN FRAMING AS REQ'D. TO REPLACE PLYWOOD. EXACT LOCATIONS SHALL BE VERIFIED IN FIELD.

DEMOLITION SCOPE OF WORK / CLARIFICATION:

1. G.C., DEMOLITION - SUB CONTRACTOR & ALL SUB-CONTRACTORS SHALL REVIEW GENERAL NOTES, DEMOLITION NOTES & DEMOLITION KEY NOTES PRIOR TO START OF WORK
2. ONE (1) TYPICAL DORMITORY SECTION & COMMON SPACE ARE SHOWN (FIRST & SECOND FLOOR), COORDINATE W/ OVERALL PLANS ON DRAWING A002.
3. ALL DEMOLITION REQUIRED TO COMPLETE NEW WORK WITH THE EXCEPTION OF DEMOLITION SHOWN & TAGGED WITH KEY NOTES IS NOT IN SCOPE OF WORK & SHALL BE COMPLETED BY OTHERS PRIOR TO START OF WORK. DEMOLITION BY OTHERS SHALL INCLUDE REMOVAL OF:
 - CORNICE BOARD @ WALLS & CEILINGS (FINISHES, WALL TILE)
 - DOOR & FRAMES
 - TRIMWORK
 - MILLWORK
 - PLUMBING FIXTURES (PIPING CAPPED AS REQ'D)
 - FLOOR FINISHES (CARPET & TILE)
 - LIGHTING FIXTURES
 - WALL & CEILING INSULATION
 - KITCHEN CABINETS & APPLIANCES
4. COORDINATE SCOPE OF WORK'S DEMOLITION W/ CONSULTING ENGINEERS DRAWINGS
5. EXISTING PARTITIONS SHALL BE BARE STUDS, BARE CEILING JOISTS & PLYWOOD SUB-FLOOR AT TIME OF START OF CONSTRUCTION. G.C. & SUBS SHALL VISIT SITE PRIOR TO START OF WORK.
6. DOOR HARDWARE DEMOLITION COORDINATION:
 - ALL EXISTING DOOR HARDWARE SHALL BE REMOVED BY OTHERS (PRE-DEMOLITION CONTRACTORS). HARDWARE SHALL BE TAGGED & TURNED OVER TO CAMBRIDGE, WHO WILL THEN TURN OVER TO GENERAL CONTRACTOR.
 - COORDINATE W/ DOOR SCHEDULE NOTES FOR ADDITIONAL INFORMATION.

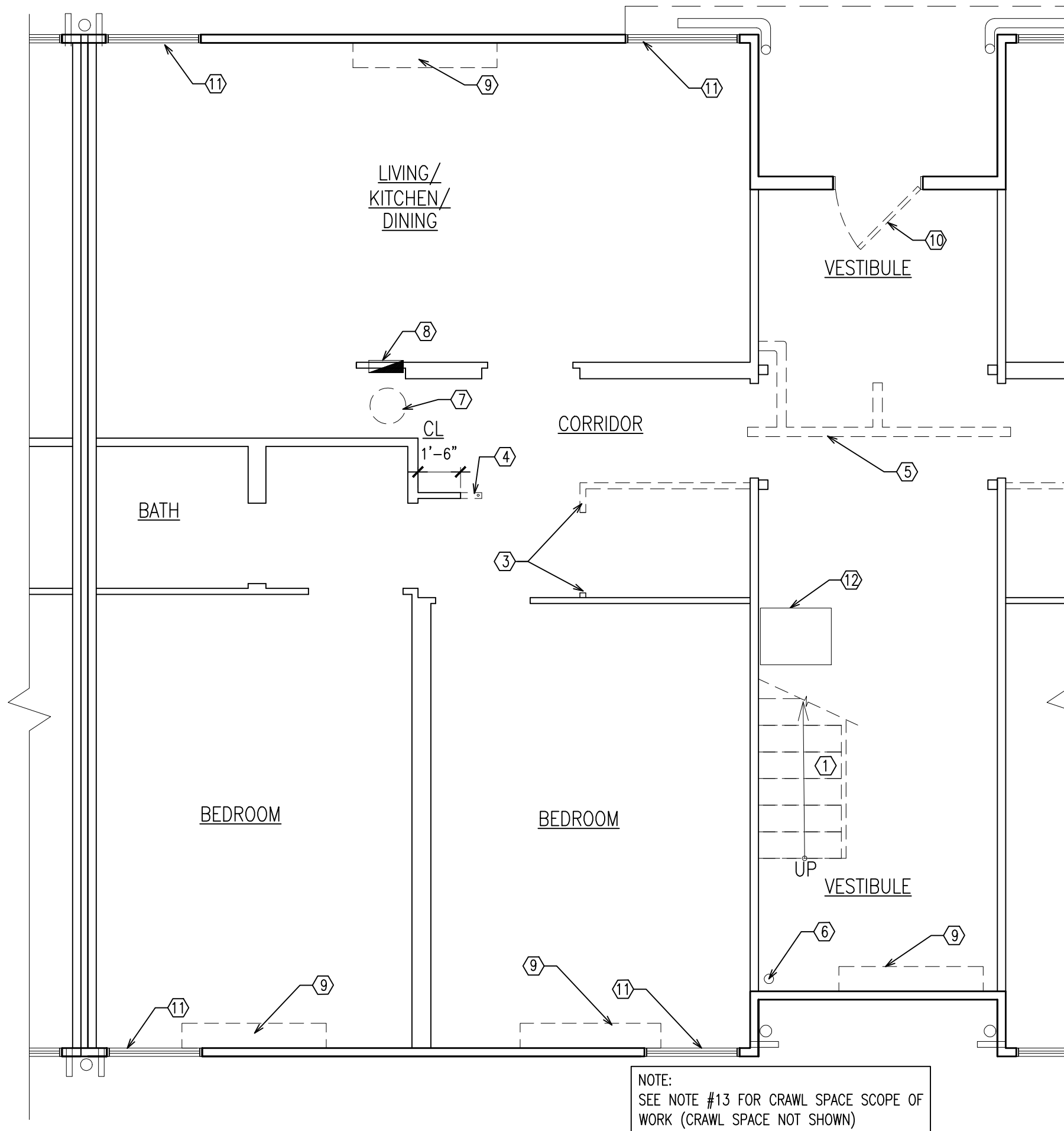
DEMOLITION KEY NOTES

- ① REMOVE EXISTING STAIRCASE FROM FIRST TO SECOND FLOOR
- ② REMOVE EXISTING RAILING AT BRIDGE, CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS REQ'D. DURING CONSTRUCTION
- ③ REMOVE EXISTING WOOD FRAME PARTITION FROM FLOOR TO CEILING AS INDICATED
- ④ REMOVE SECTION OF EXISTING WOOD FRAME PARTITION FROM FLOOR TO CEILING. RELOCATE EXISTING PIPING LOCATED IN SECTION OF WALL THAT IS BEING REMOVED.
- ⑤ REMOVE EXISTING FIRE SPRINKLER PIPING AT VESTIBULE. SEE ENGINEERS FIRE PROTECTION PLAN FOR SCOPE OF DEMOLITION & NEW WORK.
- ⑥ EXISTING SPRINKLER MAIN TO REMAIN, COORDINATE EXTENT OF WORK W/ ENGINEERING DRAWINGS
- ⑦ REMOVE EXISTING WATER HEATER, COORDINATE W/ PLUMBING DRAWINGS
- ⑧ EXISTING RECESSED ELECTRICAL PANEL TO REMAIN, COORDINATE W/ ELECTRICAL DRAWINGS
- ⑨ APPROXIMATE LOCATION OF EXISTING FAN COIL UNIT REMOVED BY OTHERS. EXISTING SUPPLY LINES BELOW TO REMAIN, COORDINATE W/ ENGINEER DRAWINGS
- ⑩ REMOVE EXISTING EXTERIOR DOOR & FRAME TO BE REMOVED. THE EXISTING DOOR LOCKS ARE TO BE REMOVED & RE-USED WITH THE NEW DOORS, COORDINATE W/ CONSTRUCTION MANAGER & SECURITY CONSULTANT
- ⑪ EXISTING WINDOWS TO REMAIN
- ⑫ EXISTING ACCESS HATCH TO CRAWL SPACE TO REMAIN



4 ENLARGED SECOND FLOOR PARTIAL DEMO PLAN

SCALE: 1/4" = 1'-0"



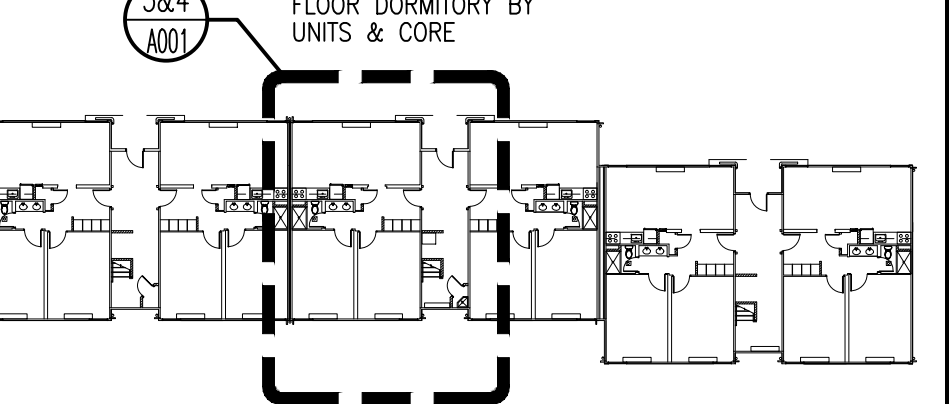
3 ENLARGED FIRST FLOOR PARTIAL DEMO PLAN

SCALE: 1/4" = 1'-0"

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
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03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED PER ADDENDUM 1

Key Plan



TYPICAL FLOOR

Consultants



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Project

INTERIOR RENOVATIONS
AT THE
MIMOSA - G RESIDENCE
RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT# 9071-15

Client

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

SNS Architects & Engineers, PC

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Date 01-09-15 Scale AS NOTED
Drawn By DP Checked By DP

BUILDING DEPARTMENT NOTES EGRESS PLANS & PARTIAL DEMOLITION PLANS

Work Order No.

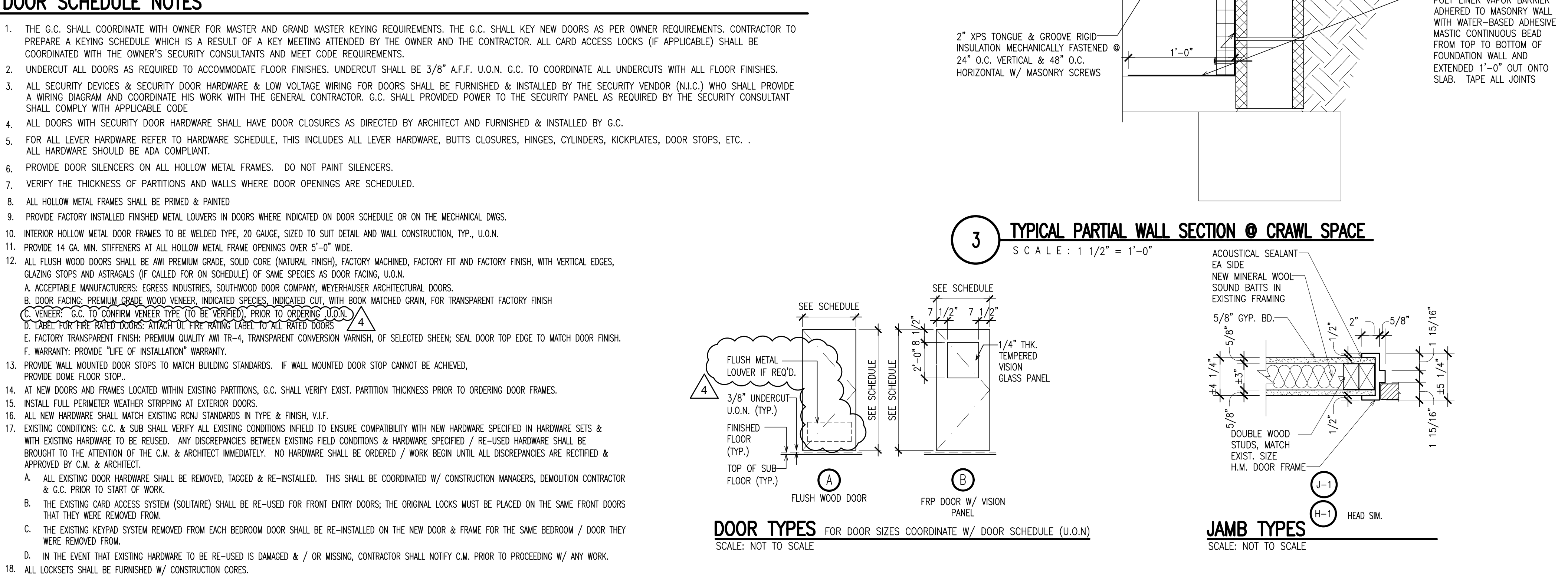
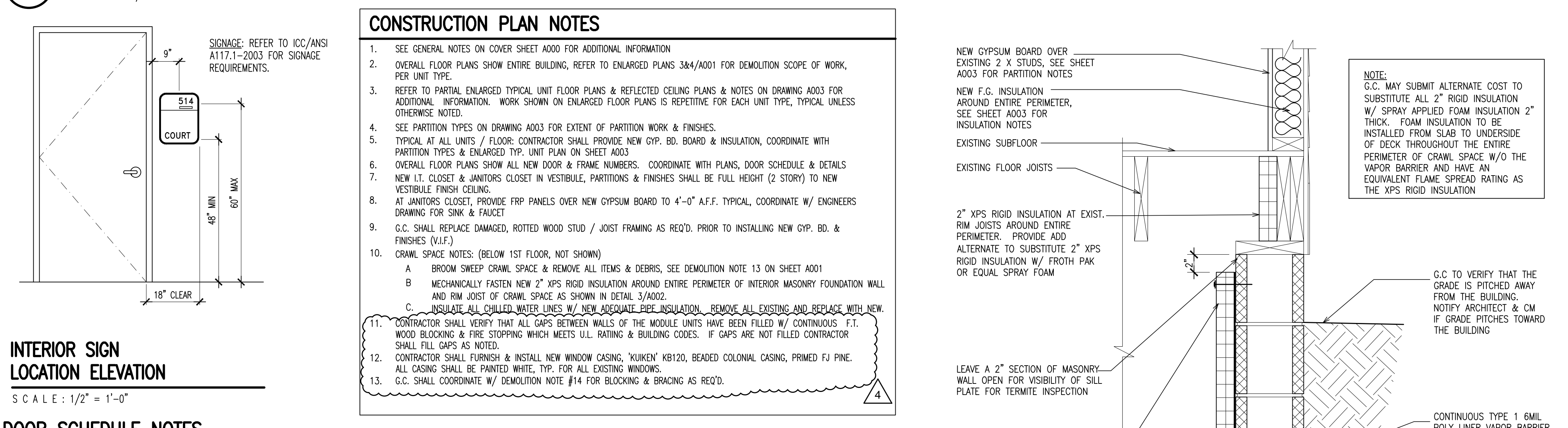
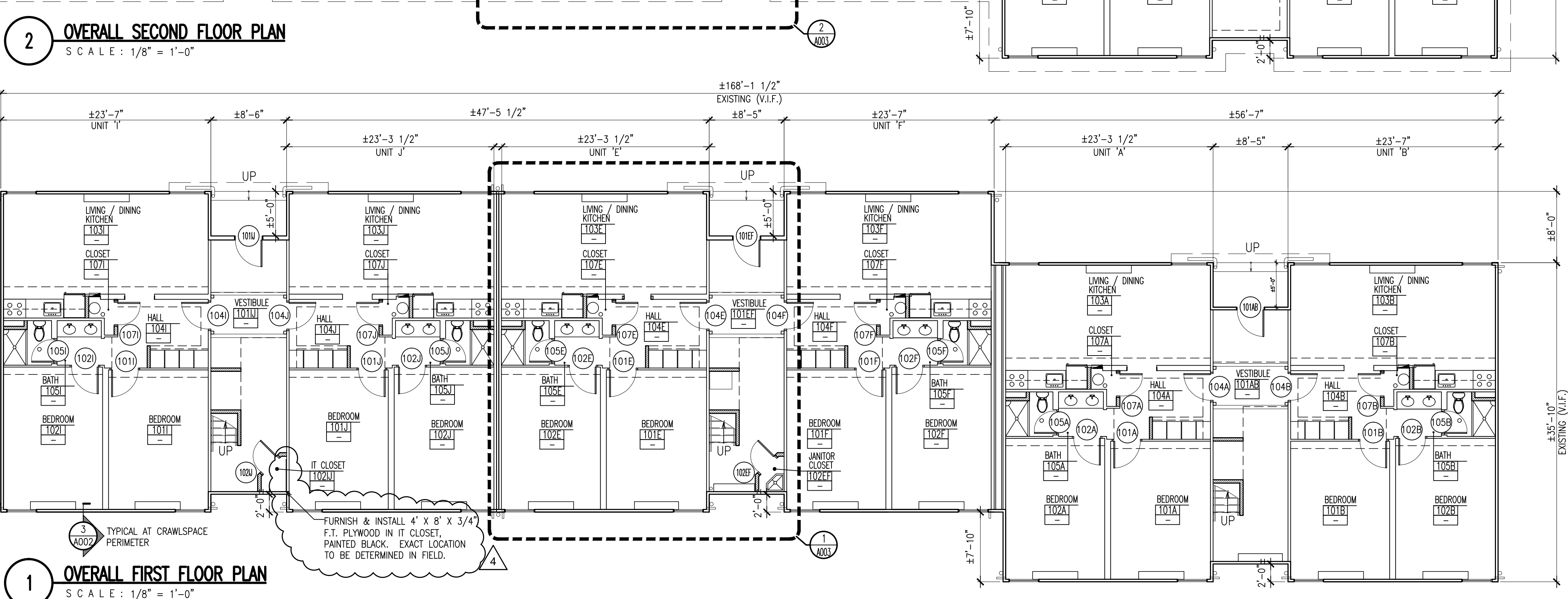
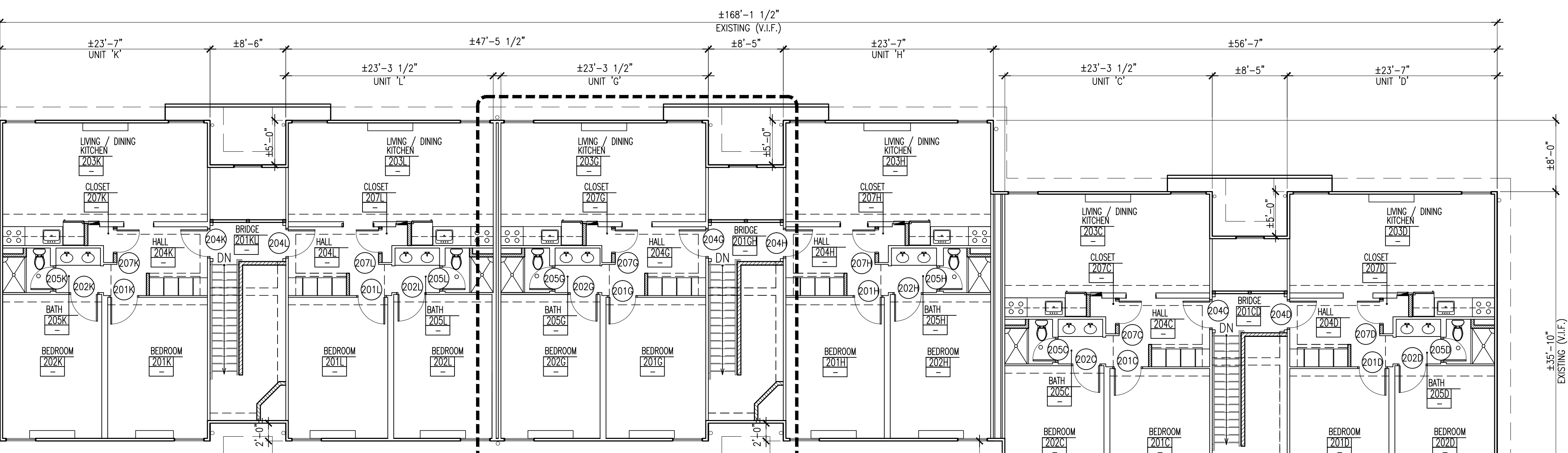
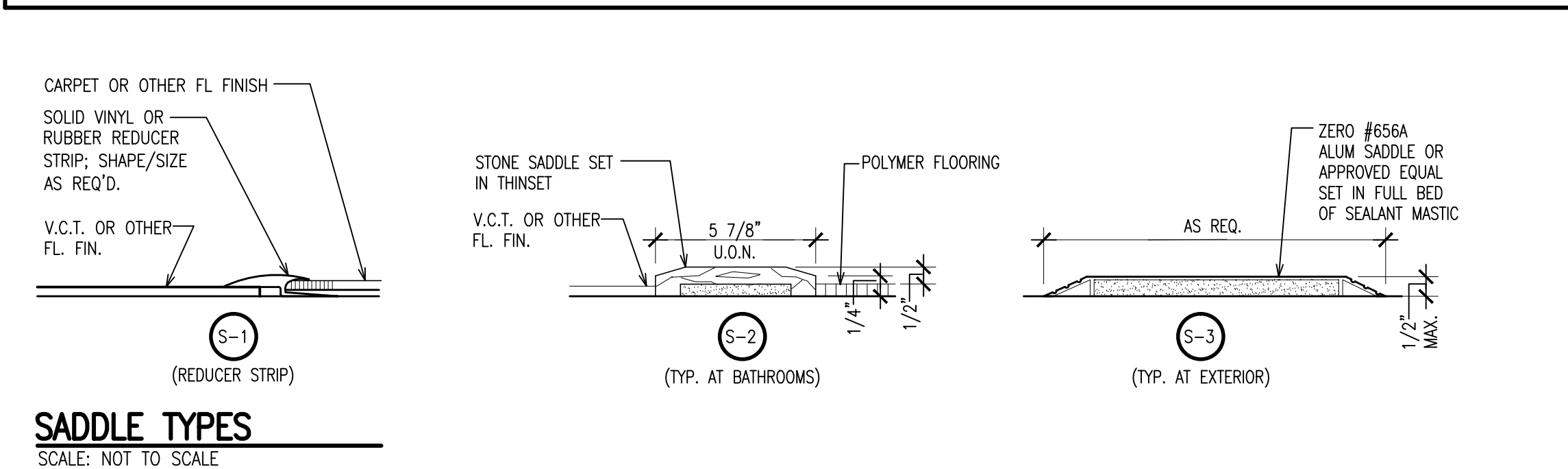
Dwg. No.

4698G A001

DOOR SCHEDULE												
DOOR NO.	DOOR			FRAME					HARDWARE		REMARKS	
	W	S	H	MAT	TYPE	THK	MAT	OPENING SIZE	JAMB	HEAD		SILL
FIRST FLOOR	101H	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102I	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104I	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105J	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107I	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	1011U	3'-0" x 6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
	1022U	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	PROVIDE FLUSH METAL LOUVER
	101J	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102J	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104J	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105J	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107J	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104E	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101EF	3'-0" x 6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
	102EF	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	
	101F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
SECOND FLOOR	102F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104F	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104A	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101AB	3'-0" x 6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
	101B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104F	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	201K	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	202K	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	204K	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	205K	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	207K	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
201L	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
202L	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
204L	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
205L	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3		
207L	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4		
201C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
202C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
204C	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
205C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3		
207C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4		
201D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
202D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
204D	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
205D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3		
207D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4		

HARDWARE SETS												
HARDWARE SET #1:				HARDWARE SET #2:				HARDWARE SET #3:				
3EA. HINGES	BB5002-450N	630	BO	3EA. HINGES	BB5002-450N	630	BO	3EA. HINGES	BB5002-450N	630	BO	
1EA. CLOSER	7101 BC PA	689	PQ	1EA. PRIVACY LOCK	1-336	626	KA	1EA. PRIVACY LOCK	MR125 PUSJ	630	BO	
1EA. DOOR VIEWER	852	626	BU	1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	1EA. OVERHEAD HOLDER	1-336	626	RX	
1ST PER WS	107NA	689	NC	1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU	1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	
1EA. SWEEP	C827A	689	NC	1EA. WALL STOP	565	630	BU	1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU	
1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	3EA. SILENCERS	500			1EA. WALL STOP	565	630	BU	
1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU					3EA. SILENCERS	500			
1EA. WALL STOP	565	630	BU									
3EA. SILENCERS	500											
1EA. SIGNAGE	ROOM LETTER (MATCH EXIST.)	626	BU									
HARDWARE SET #4:				HARDWARE SET #5:				HARDWARE SET #6:				
3EA. HINGES	BB5002-450N	630	BO	3EA. HINGES	BB5002-450N	630	BO	3EA. HINGES	BB5002-450N	630	BO	
1EA. STOREROOM LOCK	MR115 PUSJ IC	630	PQ	1EA. CONT. HINGES	BB5002-450N	630	BO	1EA. RECESSED PULL	BY DOOR MANUF.	689	SP	
1EA. PERMANENT CORE	BY COLLEGE	626	KA	1EA. STOREROOM LOCK	MR115 PUSJ IC	630	PQ	1EA. PUSH	26C	626	KA	
1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	1EA. OVERHEAD STOP	9-336	626	KA	1EA. MOP PLATE	7101 BC PA	689	PQ	
1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU	1EA. PERMANENT CORE	BY COLLEGE	626	KA	1ST PER WS	107NA	689	NC	
1EA. WALL STOP	565	630	BU	1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	1EA. SWEEP	C827A	689	NC	
3EA. SILENCERS	500			1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU	1EA. MOP PLATE	.050 X 4" X 2" LDW	630	BU	
				3EA. SILENCERS	500			1EA. KICK PLATE	.050 X 8" X 2" LDW	630	BU	
								1EA. WALL STOP	565	630	BU	

ABBREVIATIONS												
BO-BOMMER	BU-BURNS	NG-NATIONAL GUARD PRODUCTS	PQ-PQD MANUFACTURING	RX-RIXSON	SP-SELECT PRODUCTS	KA-KABA ACCESS						
NOTE: THE ORIGINAL KEYPAD LOCK MUST BE INSTALLED ON THE NEW DOOR FROM THE SAME BEDROOM IT WAS REMOVED FROM												



Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	2	ISSUED FOR BIDDING
03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED PER ADDENDUM 1

Key Plan

TYPICAL FLOOR

Consultants

IEA

LINWOOD ENGINEERING ASSOCIATES, P.A.

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Glen Rock, New Jersey 07452
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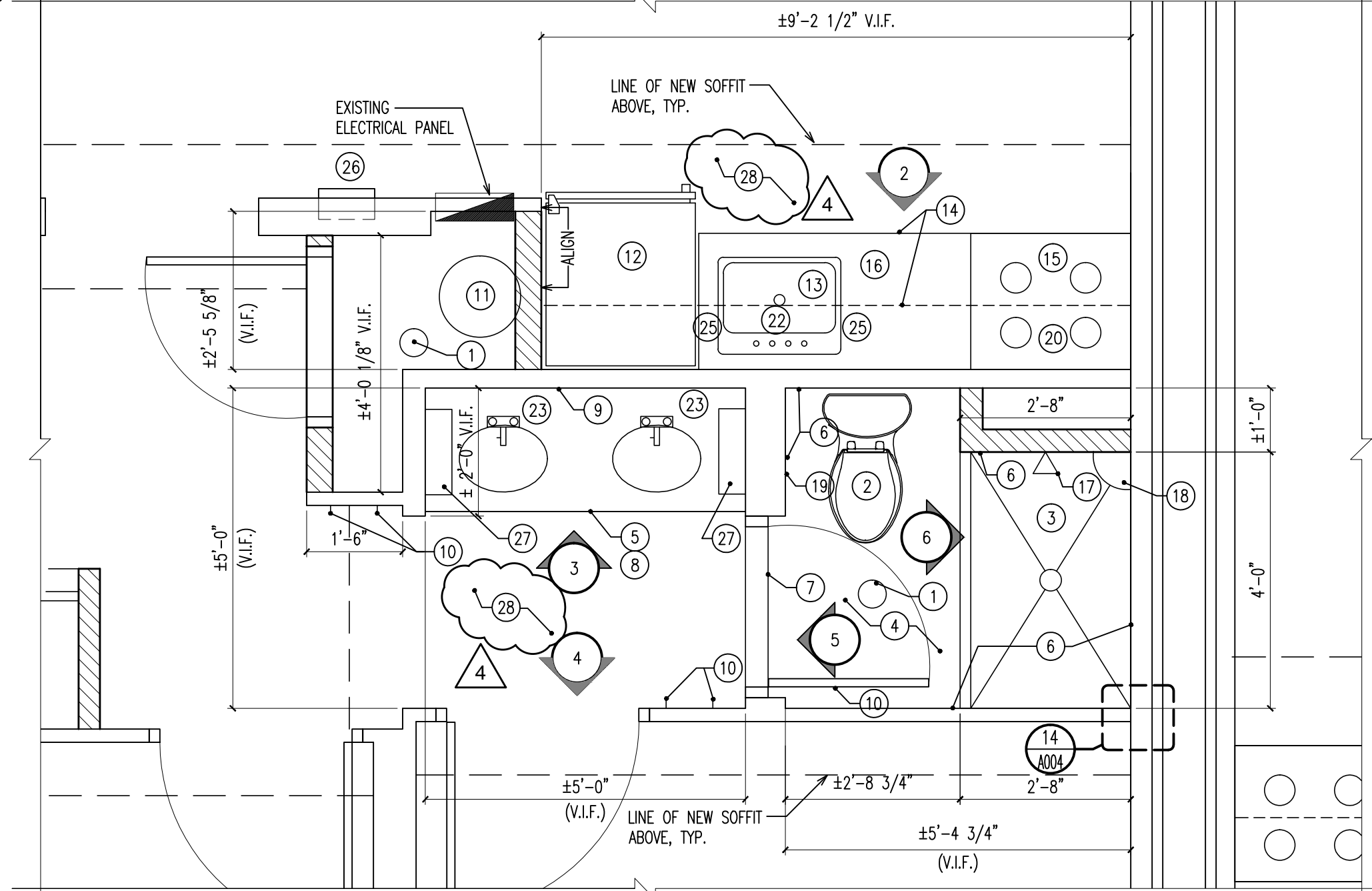
Drawn By ABP Checked By mv

Dwg. Title

FIRST & SECOND FLOOR PLANS, DOOR SCHEDULE & DETAILS

Work Order No. Dwg. No.

4698G A002



2 KITCHEN ELEVATIONS

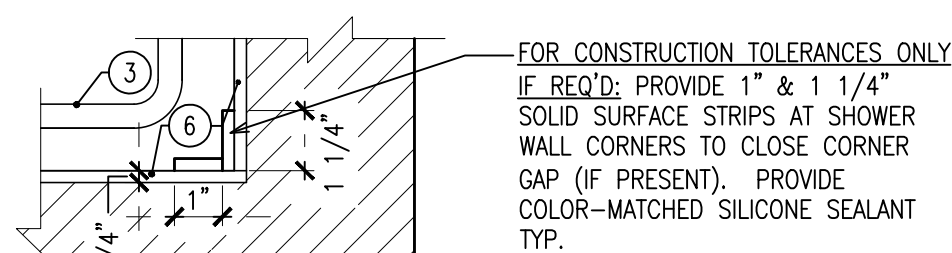
SCALE: 1/2" = 1'-0"

3 BATHROOM ELEVATIONS

SCALE: 1/2" = 1'-0"

EQUIPMENT SCHEDULE

MARK	DESCRIPTION	MANUFACTURER	MODEL NO.	REMARK
1	FLOOR DRAIN			REFER TO PLUMBING DRAWINGS. MOUNT FLUSH TO NEW FINISHED FLOORING
2	TOILET WITH SEAT COVER			REFER TO PLUMBING DRAWINGS
3	SHOWER BASE	VIGO	VG06049	32" X 48" COMPOSITE SHOWER PAN BASE W/ NEW DRAIN. PROVIDE NEW STAINLESS STEEL CURTAIN ROD & CURTAIN ABOVE (POURED-IN-PLACE) WITH INTEGRAL COVE BASE WITH REGLET. INSTALL 1/4" HARDIBACKER OR EQUAL UNDERLAYMENT. REPLACE ANY DAMAGED WOOD FLOOR SHEATHING AS REQ'D.
4	POLYMER FLOOR COATING	STONHARD	STONETEC ERF	ALL POLYMER DOORS, DRAWERS & CABINET CONSTRUCTION. SEE ELEVATIONS FOR CONFIGURATIONS
5	BATHROOM VANITY CABINETS	WEREVER OUTDOOR PRODUCTS	SOLID MARINE GRADE POLYMER OUTDOOR CABINETRY	
6	SOLID WALL SURFACE PANEL	ARRAY	WALL PANEL	1/4" THICK PANEL, SEE ELEVATION FOR HEIGHT. COLOR TO BE SELECTED
7	MARBLE THRESHOLD	DALTILE	SINGLE HOLYWOOD BEVEL	4" X 30" X 1/2"H
8	BATHROOM VANITY		VANITY TOP	SOLID SURFACE VANITY TOP W/ INTEGRAL DOUBLE SINKS
9	MIRROR	STYLE SELECTIONS	60" X 36" POLISHED EDGE WALL MIRROR	SEE ELEVATIONS
10	TOWEL HOOK	MOEN	YB8003CH	SEE ELEVATIONS
11	WATER HEATER			REFER TO PLUMBING DRAWINGS
12	REFRIGERATOR	GE	GTS18GTH	28" W X 67 1/2"H X 32 1/2"D
13	KITCHEN SINK			REFER TO MEP DRAWINGS
14	KITCHEN CABINETS	WEREVER OUTDOOR PRODUCTS	SOLID MARINE GRADE POLYMER OUTDOOR CABINETRY	ALL POLYMER DOORS, DRAWERS & CABINET CONSTRUCTION. SEE ELEVATIONS FOR CONFIGURATIONS
15	RANGE	GE	JBS60DF	30" W X 47"H X 25 1/2"D
16	KITCHEN COUNTERTOP	LG HI-MACS	ACRYLIC-SOLID SURFACE	COLOR TO BE SELECTED IN PRICE GROUP 'B'
17	SHOWER HEAD AND CONTROLS			SEE PLUMBING DRAWINGS
18	CORNER SOAP DISH	ARRAY	CD0707	7" X 7", FINISH TO MATCH SHOWER WALL PANELS
19	RECESSED TOILET TISSUE DISPENSER	BOBRICK	B-667	
20	MICROWAVE / HOOD	GE	JVM3160DF	30"W X 16"H X 6"D. VERIFY PLACEMENT OF INTEGRAL RANGE VENT.
21	BATHROOM EXHAUST FAN	BROAN	679	120V, 2.0 AMP, 70 CFM W/ 4" DUCT. SEE ELECTRICAL DWG. FOR ADD'L. INFORMATION
22	KITCHEN SINK FAUCET			REFER TO PLUMBING DRAWINGS
23	BATHROOM FAUCET			REFER TO PLUMBING DRAWINGS
24	BATHROOM VANITY LIGHT FIXTURE			REFER TO ELECTRICAL DRAWINGS
25	UNDER CABINET LIGHT FIXTURE			REFER TO ELECTRICAL DRAWINGS
26	SEMI-RECESSED FIRE EXTINGUISHER CABINET W/ FIRE EXTINGUISHER	LARSEN'S	SS-2409-R1	STAINLESS STEEL CABINET W/ 5LBS FIRE EXTINGUISHER
27	STAINLESS STEEL SHELF	BOBRICK	B-295X16	16" LONG X 5" DEEP W/ (2) BRACKETS. PROVIDE WOOD BLOCKING & USE SS SHEET METAL SCREWS
28	LINOLEUM FLOORING	ARMSTRONG	2.5 MM-MARMORETTE	PROVIDE WELDED SEAMS, COLOR TO BE SELECTED FROM MANUFACTURERS FULL RANGE



14 PLAN DETAIL AT SOLID SURFACE CORNER CONDITION

SCALE: 3" = 1'-0"

4 BATHROOM ELEVATIONS

SCALE: 1/2" = 1'-0"

5 BATHROOM ELEVATIONS

SCALE: 1/2" = 1'-0"

6 BATHROOM ELEVATIONS

SCALE: 1/2" = 1'-0"

7 CABINET SECTION

SCALE: 3/4" = 1'-0"

8 CABINET SECTION

SCALE: 3/4" = 1'-0"

9 VANITY SECTION

SCALE: 3/4" = 1'-0"

10 WARDROBE CLOSET ELEVATION

SCALE: 1/2" = 1'-0"

11 WARDROBE CLOSET SECTION

SCALE: 1/2" = 1'-0"

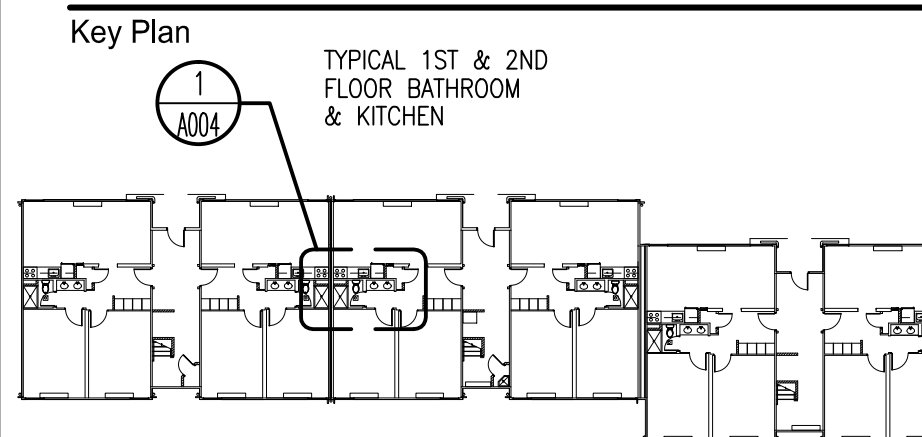
12 WARDROBE CLOSET SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

13 WARDROBE CLOSET ELEVATION DETAIL

SCALE: 1 1/2" = 1'-0"

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TYPICAL FLOOR

Consultants

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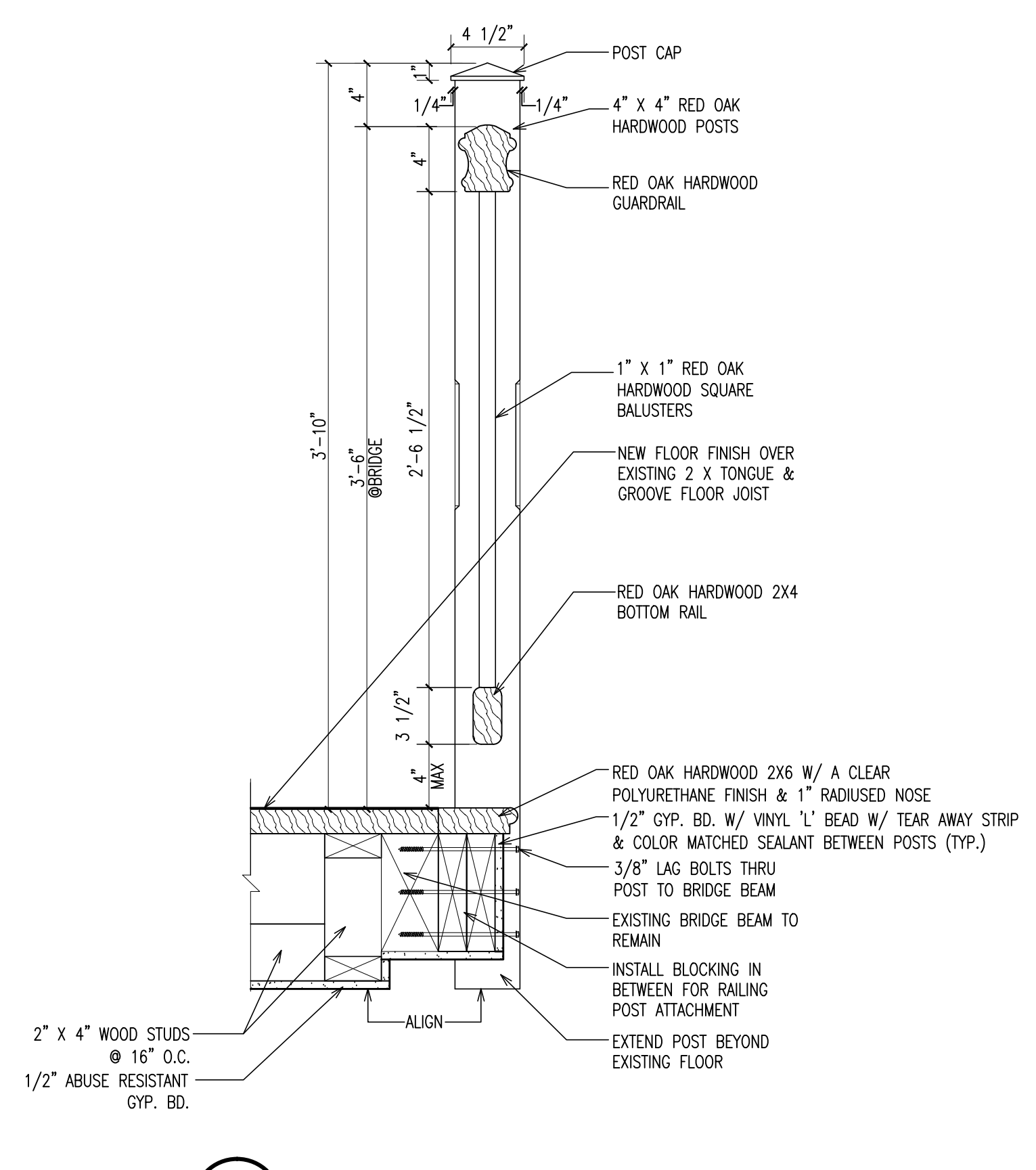
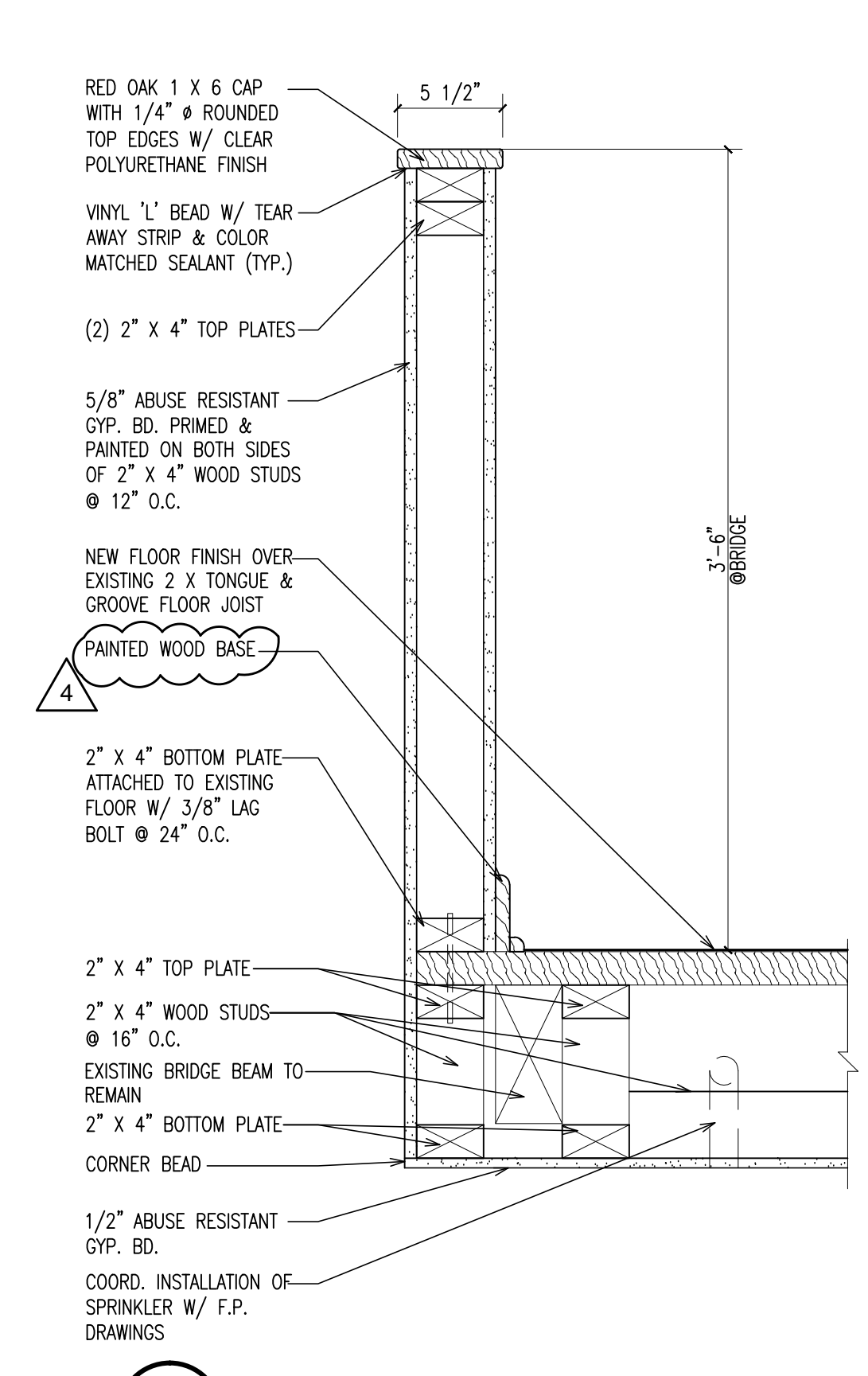
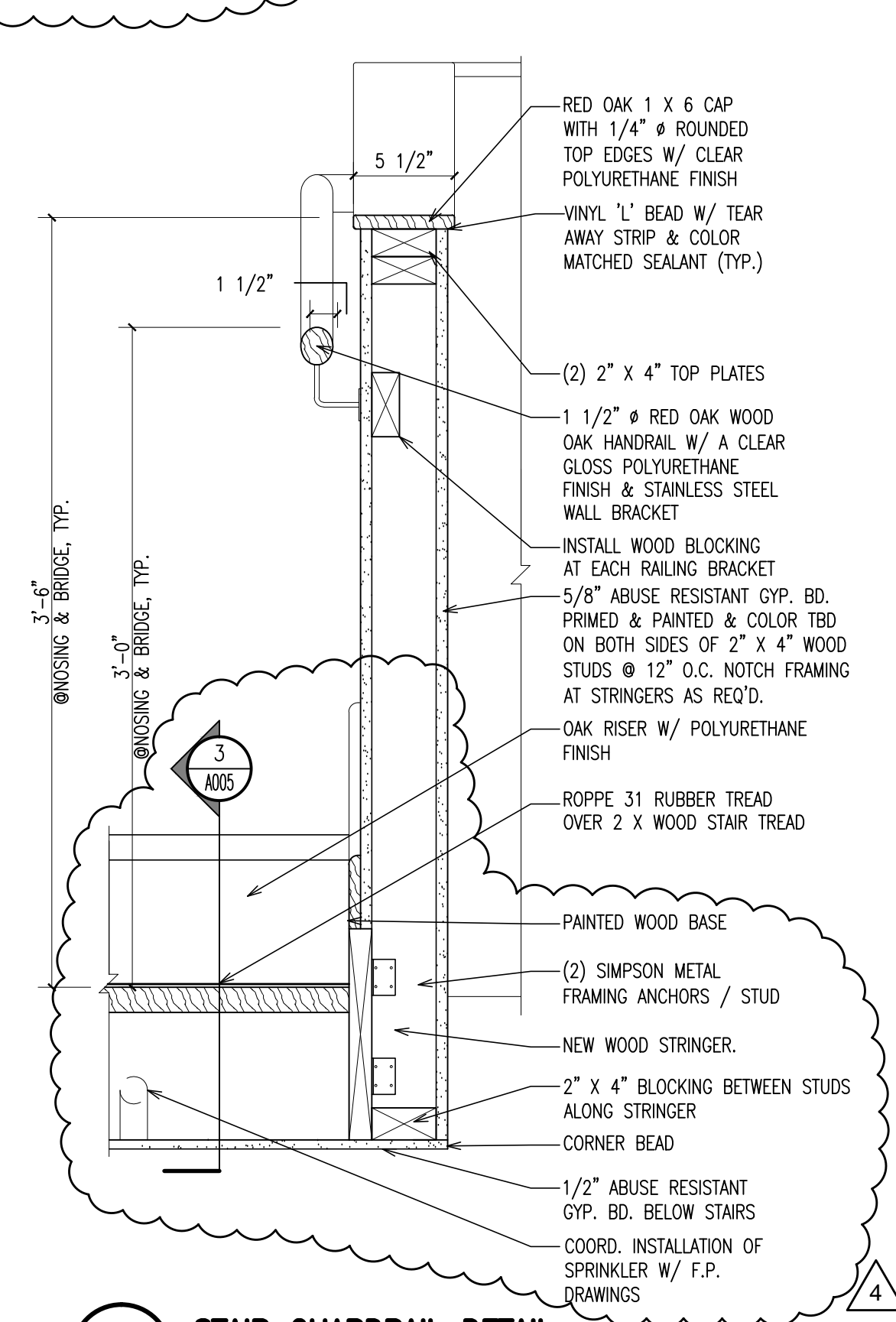
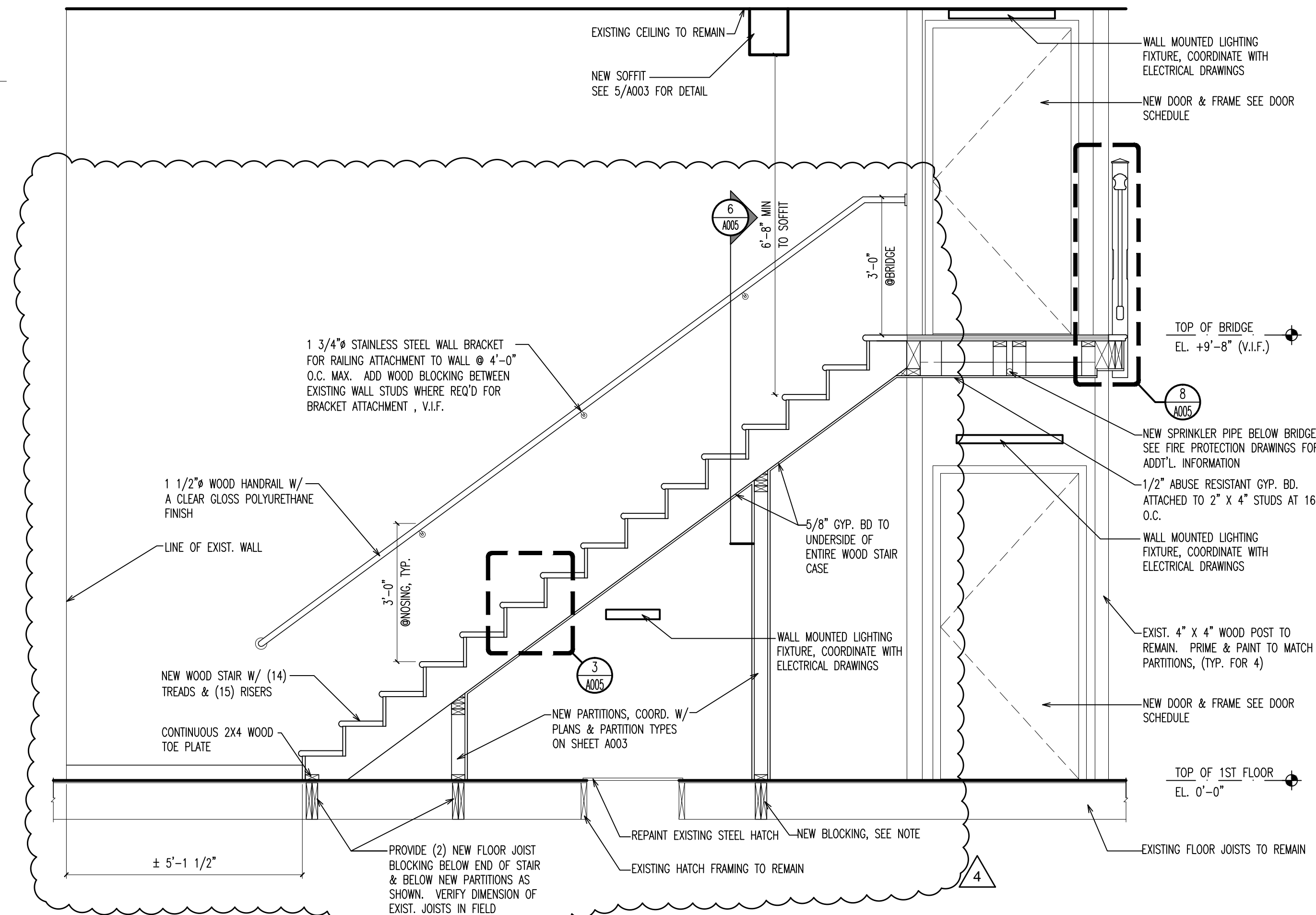
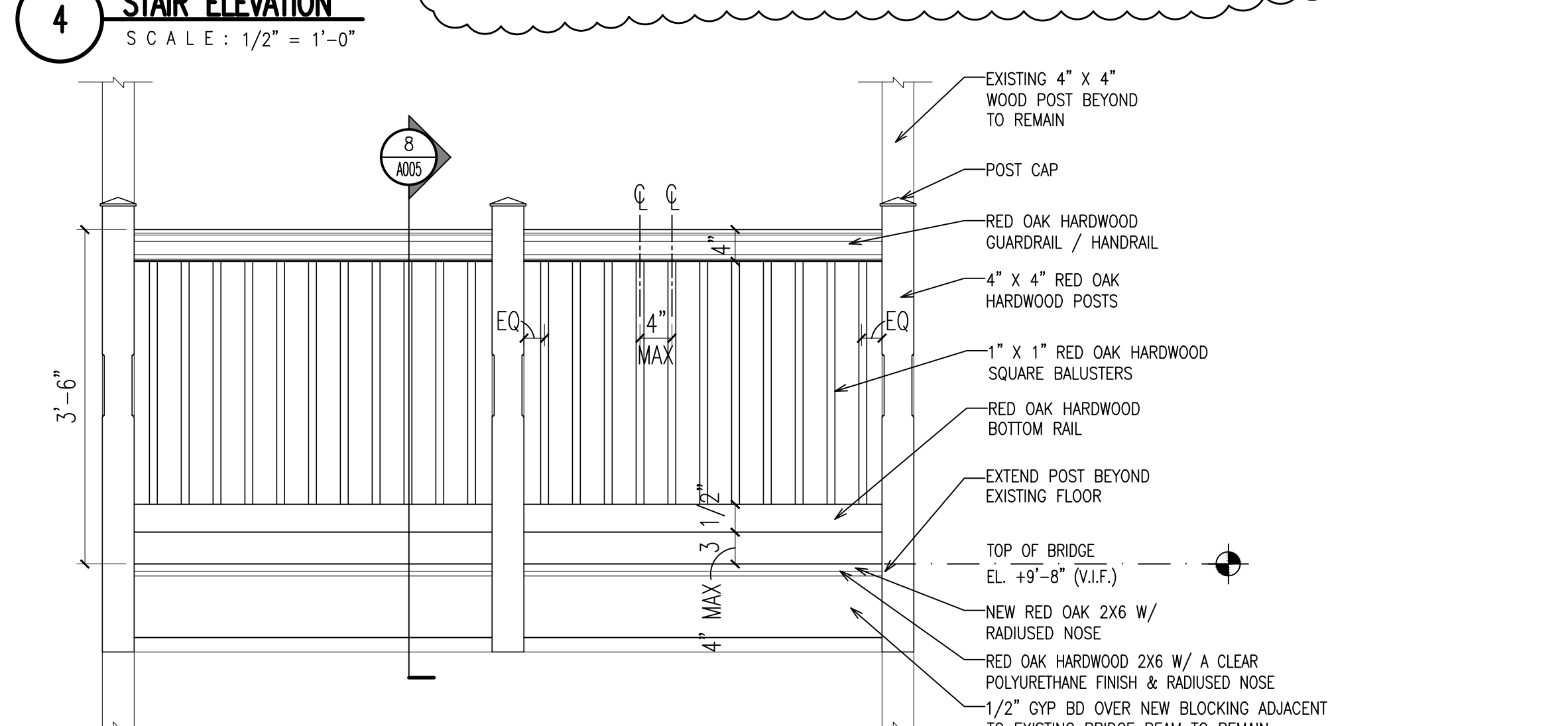
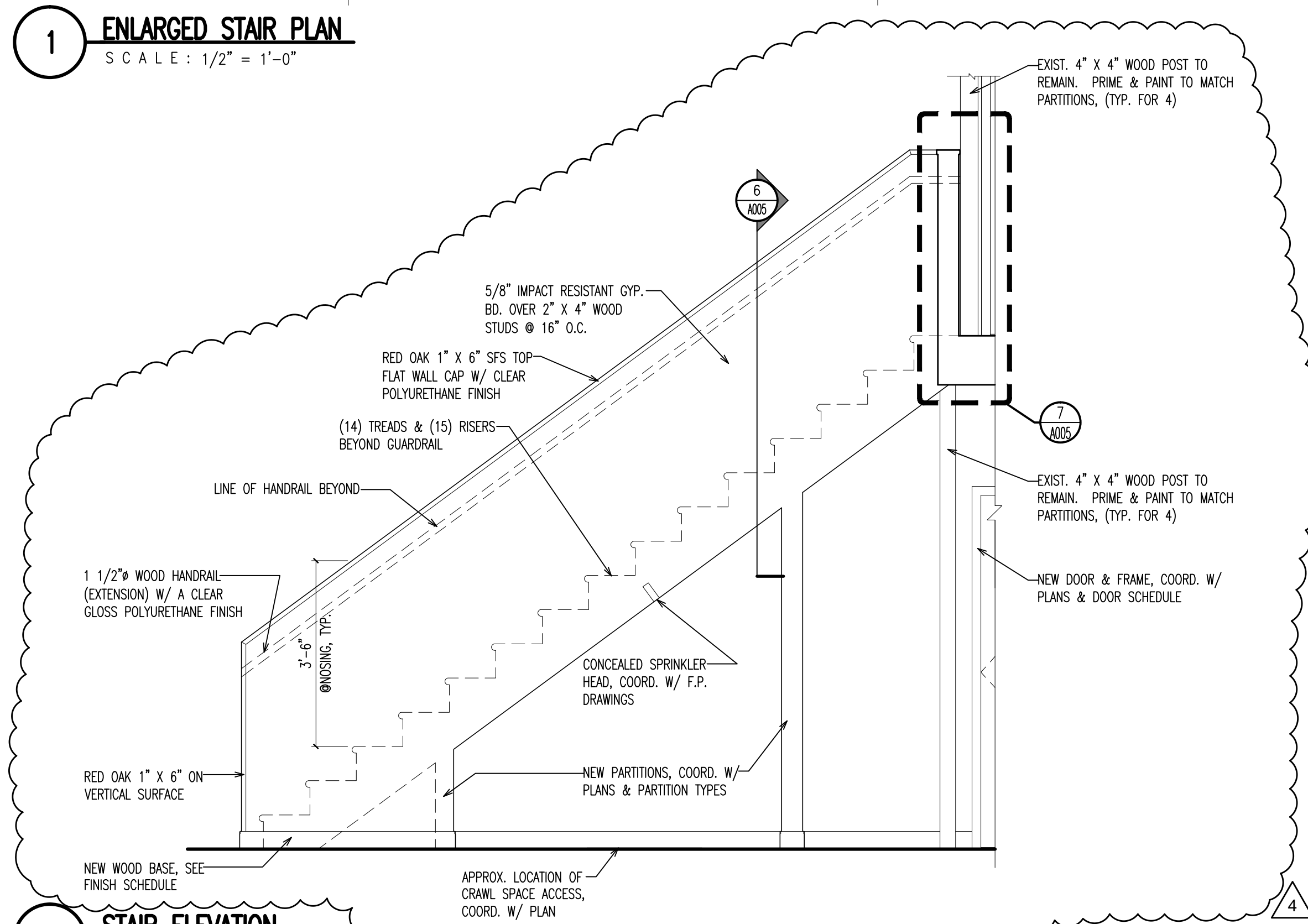
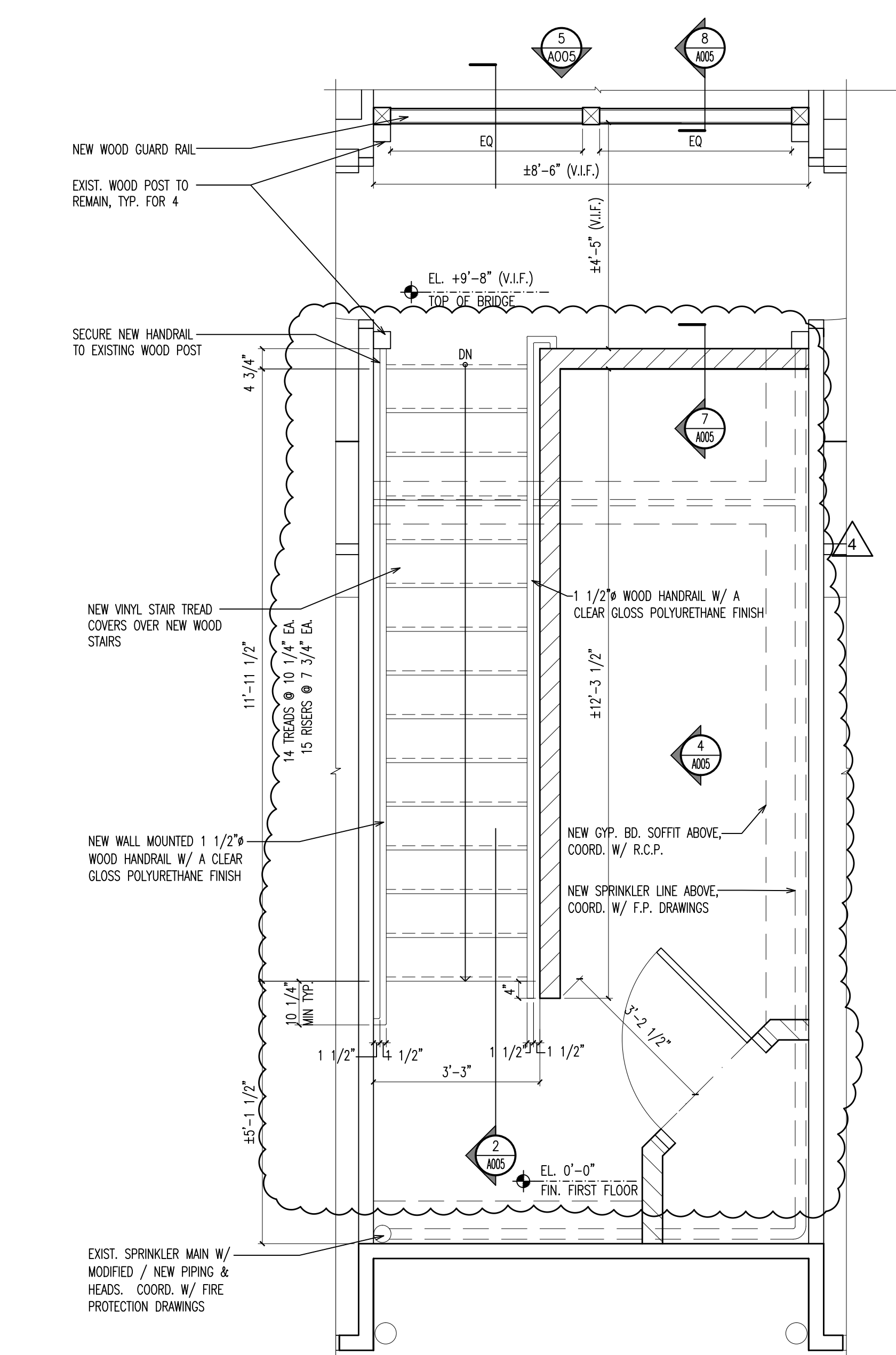
Client

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

SNS Architects & Engineers, PC
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Cert./Lic. No. AI 109740
Date 01-09-15 Scale AS NOTED
Drawn By DP Checked By DP
Dwg. Title
**ENLARGED PLAN, MILLWORK,
DETAILS & EQUIP. SCHEDULE**
Work Order No. Dwg. No.

4698G A004



3 STAIR SECTION DETAIL

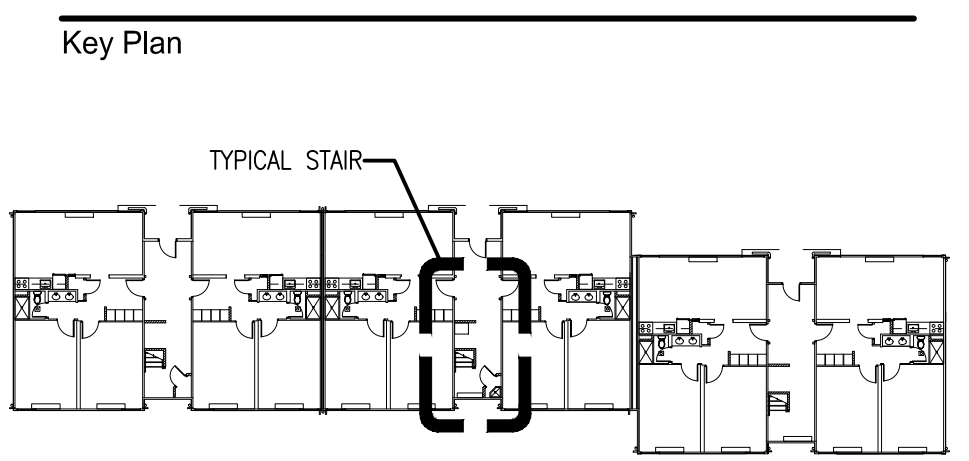
SCALE: 1 1/2" = 1'-0"

STAIR & BASE MOLDING NOTES:
1. COUNTER SINK ALL WALLS & COVER OPENINGS W/ PUTTY TO MATCH WOOD FINISH.
2. WHERE SEALANT IS REQ'D., PROVIDE COLOR TO MATCH WHERE APPLIED.
3. FASTEN ALL MATERIALS WITH PROPER FASTENERS.
4. ALL PAINT COLORS TO BE SUBMITTED AND APPROVED BY ARCHITECT.
5. PROVIDE A VINYL J SEAL ALONG W/ SEALANT THAT MATCHES IN COLOR WHERE GYP. BD. EDGES ABUTS UP TO FINISHED WOOD SURFACES.
6. ALL LAG BOLT & SCREW HOLES ARE TO BE COUNTERSUNK AND FILLED W/ RED OAK DWEL PLUGS CUT FLUSH AT OPENING WITH A FINISH TO MATCH ADJACENT SURFACE.

FINISH SCHEDULE					
LOCATION	FLOOR	BASE	WALLS	CEILING	REMARKS
BEDROOM	CARPET TILE	PAINTED WOOD BASE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED GWB FLAT WHITE COLOR PER ARCHITECT	INTERFACE OR EQ CARPET TILE, TYP.
VESTIBULE	LINOLEUM FLOORING	PAINTED WOOD BASE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED EXPOSED WOOD STRUCTURE	
JANITOR CLOSET	LINOLEUM FLOORING	VINYL COVE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT & FRP PANELS TO 6'-0" AFF WITH FRP TRIM ON ALL WALLS	PAINTED EXPOSED WOOD STRUCTURE	
IT ROOM	LINOLEUM FLOORING	VINYL COVE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED EXPOSED WOOD STRUCTURE	
LIVING/ DINING/ KITCHEN	LINOLEUM FLOORING	PAINTED WOOD BASE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED GWB FLAT WHITE COLOR PER ARCHITECT	
HALL	LINOLEUM FLOORING	PAINTED WOOD BASE & VINYL COVE AT BATHROOM SINK	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED GWB FLAT WHITE COLOR PER ARCHITECT	
BATHROOM	STONE/TEC ERF STONEHARD OR EQUAL POLYMER FLOOR COATING	STONE/TEC ERF STONEHARD OR EQUAL POLYMER FLOOR COATING	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT & SOLID SURFACE PANELS	PAINTED GWB FLAT WHITE COLOR PER ARCHITECT	
CLOSET	LINOLEUM FLOORING	VINYL COVE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED GWB FLAT WHITE COLOR PER ARCHITECT	
BRIDGE	LINOLEUM FLOORING	PAINTED WOOD BASE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED EXPOSED WOOD STRUCTURE	
STAIR	RUBBER TREADS ROPPE TREAD 31 OR EQUAL	PAINTED WOOD BASE	PAINTED GWB FLAT NEUTRAL COLOR PER ARCHITECT	PAINTED EXPOSED WOOD STRUCTURE	

FINISH SCHEDULE NOTES:
1. SUBMIT SAMPLES OF ALL MATERIALS SPECIFIED, FOR REVIEW AND APPROVAL BY SNS PRIOR TO ORDERING THE MATERIALS.
2. ALL FINISHES TO BE PROVIDED AND INSTALLED BY GENERAL CONTRACTOR.
3. ALL SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES (FLOOR, WALL, BASE) AS PER MANUFACTURER'S INSTRUCTIONS.
4. REFER TO ELEVATIONS AND DETAILS FOR LOCATION OF NEW FINISHES.
5. ALL FINISHES OCCUR IN THE LOCATIONS LISTED ABOVE AT ALL DORMITORIES AND SUPPORT SPACES ON ALL FLOORS.
6. WINDOW CASING SHALL BE "KUKEN" #2120, BENDED COGNAC CASING PRIMED FJ PINE, PAINTED WHITE.
7. WOOD BASE SHALL BE "KUKEN" #B205, COLONIAL BASE MOLDING PRIMED FJ PINE, PAINTED WHITE.

Revisions		
Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	2	ISSUED FOR BIDDING
03-27-15	3	ISSUED FOR DCA FILING & CONSTRUCTION
04-07-15	4	ISSUED PER ADDENDUM 1



TYPICAL FLOOR.
Consultants

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Project
INTERIOR RENOVATIONS
AT THE
MIMOSA - G RESIDENCE
RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

DCA PROJECT# 9071-15
Client
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