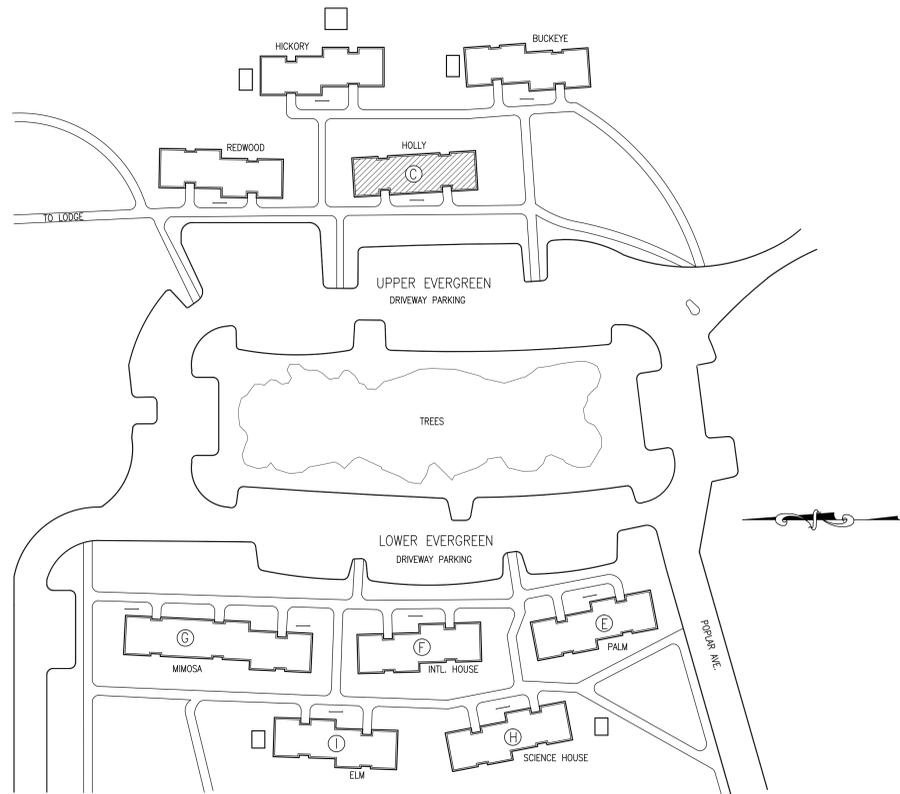




INTERIOR RENOVATIONS
AT THE
HOLLY - C RESIDENCE
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680



KEY PLAN
SCALE: N.T.S.

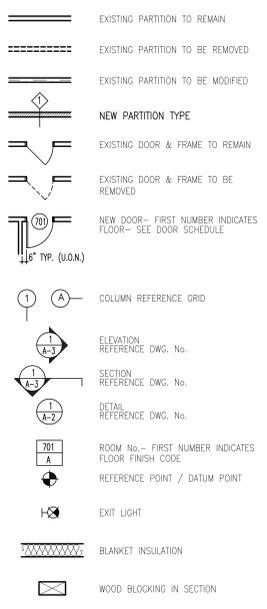
GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE AND SHALL REPORT, IN WRITING, ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING CONSTRUCTION. COMMENCEMENT OF THE WORK BY THE CONTRACTOR WILL IMPLY HIS ACCEPTANCE OF ALL EXISTING CONDITIONS.
- EXISTING CONDITIONS DISTURBED BY ALTERATION WORK SHALL BE PATCHED & REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS & FINISHES TO A LIKE NEW CONDITION.
- WHERE IN THE COURSE OF ALTERATION, DIMENSIONS EXIST OR CONDITIONS ARE ENCOUNTERED, WHICH ARE AT VARIANCE FROM THE EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF SUCH DISCREPANCIES & SHALL NOT PROCEED UNTIL THE ARCHITECT DICTATES THE PROPER METHOD OF COMPLETION.
- CONTRACTOR TO CAP AND IDENTIFY ALL EXISTING UTILITIES PRIOR TO START OF WORK IN AREAS SUCH AS FLOORS, CEILINGS, PARTITIONS, ETC., COORDINATE WITH ENGINEERING DRAWINGS.
- CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS & FIXTURES LIKELY TO BE DAMAGED, WHEN THE EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED w/ WATER-TIGHT PROTECTION AT THE END OF THE DAY'S WORK.
- PROTECT EXISTING STRUCTURE FROM DAMAGE DURING CONSTRUCTION & INSURE STRUCTURAL INTEGRITY.
- LIMIT USE OF PREMISES FOR WORK AND FOR CONSTRUCTION OPERATIONS. LIMIT ACCESS AS DIRECTED BY BUILDING OWNER OR MANAGER, COORDINATE USE OF PREMISES UNDER DIRECTION OF BUILDING OWNER OR MANAGER.
- FIRE RETARDANT TREAT ALL FINISHED WOOD, BLOCKING, ETC., PER CODE REQUIREMENTS.
- MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MFG'S PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
- PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
- ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
- WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.
- ALUMINUM SURFACES IN CONTACT w/ DISSIMILAR MATERIALS SHALL RECEIVE TWO (2) THOROUGH COATS OF BITUMINOUS PAINT.
- SHOP PRIME PAINT ALL NON-GALVANIZED FERROUS METALS. COLOR SHALL BE BLACK.
- REFER TO ENGINEERING DRAWINGS PREPARED BY CONSULTING ENGINEER FOR ALL ELECTRICAL, MECHANICAL, AND SPRINKLER INFORMATION.
- UPON COMPLETION OF THE WORK, REMOVE ANY TEMPORARY FACILITIES AND RESTORE ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR AS APPROVED BY ARCHITECT.
- REUSE OF THIS DRAWING WITHOUT THE ARCHITECT'S PROFESSIONAL INVOLVEMENT WILL BE AT THE OWNER'S OR USER'S SOLE RISK AND WITHOUT LIABILITY TO THE ARCHITECT. THE OWNER OR USER SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT, THE ARCHITECT'S CONSULTANTS, AGENTS AND EMPLOYEES AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES.
- FURNISH SHOP DRAWINGS FOR ALL SHOP FABRICATED ITEMS. SUBMIT (4) OPACQUE SET OF PRINTS AND/OR 4 SETS IF PRODUCT CUT SHEETS. CHECK FIELD CONDITIONS AND FIELD DIMENSIONS BEFORE MAKING SHOP DRAWINGS. CONFORM TO VARIATIONS FOUND AND REPORT TO THE ARCHITECT ANY SERIOUS DISCREPANCIES IN THE DESIGN OR CONSTRUCTION WHICH WILL CONFLICT WITH THE INSTALLATION. SUBMISSION OF SHOP DRAWINGS INDICATES THAT THE GENERAL CONTRACTOR HAS CHECKED THE SUBMISSION FOR FIELD DIMENSIONS, CONTRACT REQUIREMENTS AND COORDINATION WITH OTHER TRADES.
- GENERAL CONTRACTOR SHALL PREPARE COORDINATION DRAWINGS AS REQUIRED TO RESOLVE CONFLICTS AND TO ASSURE COORDINATION OF WORK. SUBMIT COMPOSITE WORKING DRAWINGS AT A SUITABLE SCALE NOT LESS THAN 1/2"=1'-0" TO ARCHITECT FOR REVIEW. REPRODUCE AND DISTRIBUTE REVIEWED COPIES TO ALL CONCERNED PARTIES.
- CLEANING:
 - MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.
 - AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS, AND CLEAN ALL SIGHT EXPOSED SURFACES; LEAVE PROJECT CLEAN AND FOR OCCUPANCY.
- WARRANTIES:
 - WARRANTY WORK FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, NOTICES, FEES, ETC., REQUIRED FOR BUILDING, GENERAL CONTRACTOR RESPONSIBILITY AND H.V.A.P. WORK.

GENERAL NOTES (CONT.)

- THE CONTRACTOR WILL BE RESPONSIBLE THAT ALL WORK IS IN STRICT ACCORDANCE WITH LOCAL BUILDING CODES.
- CYPSUM BOARD PARTITIONS SHALL BE ERRECTED AS SHOWN ON THE PLANS, DETAILS, OR AS CALLED FOR IN THE SPECIFICATIONS. CYPSUM BOARD PARTITION JOINTS SHALL BE LOCATED SO THAT THE PANEL EDGES FALL ON ALTERNATE STUDS. JOINTS SHALL BE TAPED, SPACKLED AND FINISHED SMOOTH FOR RECEPTION OF NEW FINISHES.
- WHERE NEW AND EXISTING BUILDING PARTITIONS ARE SHOWN TO ADJOIN, THE JUNCTION SHALL BE TAPED, SPACKLED AND FINISHED SMOOTH.
- CORNER AND "J" BEADS SHALL BE USED AT EXPOSED CYPSUM BOARD CORNERS AND/OR ENDS.
- THOROUGHLY CHECK JOBSITE FOR EXISTING DAMAGED CYPSUM WALLBOARD. SUCH CONDITIONS SHALL BE REPAIRED AND SURFACES MADE READY TO RECEIVE NEW FINISHES. INCLUDE SUCH CONDITIONS IN BASE BID.
- WALLS THAT ARE TO BE PAINTED SHALL HAVE ONE (1) COAT OF PRIMER AND MINIMUM OF TWO (2) FINISH COATS OR UNTIL THOROUGHLY COVERED. REFER TO C/M DRAWINGS FOR FURTHER INFORMATION.
- ALL OPENINGS IN WALLS WHERE SWITCHES, ELECTRICAL OUTLETS & JUNCTION BOXES, ETC., ARE BEING REMOVED SHALL BE PATCHED w/ 5/8" RD. BLANK ELECTRICAL COVER PLATES. SHALL NOT BE ACCEPTABLE.
- CUT OPENINGS IN EXISTING DRYWALL OR MASONRY WALL & SET NEW FRAME FOR NEW DOORS. FILL IN AROUND NEW FRAMES WITH DRYWALL OR MASONRY CONSTRUCTION TO MATCH EXISTING ADJACENT CONSTRUCTION.
- ARCHITECT HAS NO KNOWLEDGE OF ANY OTHER HAZARDOUS MATERIALS ON THE SITE. SHOULD ASBESTOS OR OTHER HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION ACTIVITIES, CONTACT OWNER AND COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FLOOR (MASONITE TAPED TOGETHER) AND WALL PROTECTION OF THE SPACE UNTIL OCCUPANCY IS TAKEN. ALL PROTECTION SHALL BE MAINTAINED DAILY. PROTECTION SHALL BE PROVIDED AT ALL CORRIDORS AND AISLES. ALL FURNITURE SHALL ALSO BE PROTECTED BY THE CONTRACTOR.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR BRINGING IN AND REMOVING ALL MATERIALS AND EQUIPMENT.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR AND MAINTAIN IN FORCE DURING THE ENTIRE PROGRESS OF THE WORK INSURANCE FOR PUBLIC LIABILITY, WORKMAN'S COMPENSATION AND DISABILITY IN THE AMOUNTS AS REQUIRED BY LAW, AS A MINIMUM.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING WITH THE ARCHITECTURAL DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, ELECTRICAL, OR SPRINKLER WORK. ANY DISCREPANCY BETWEEN ARCHITECTS AND CONSULTING ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, IN THE EVENT OF A DISCREPANCY THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED IN THE BID THE GREATER QUANTITY, BETTER QUALITY ETC.
- G.C. SHALL PROVIDE FIRE EXTINGUISHERS W/SEMI-RECESSED CABINET AS REQUIRED BY LOCAL CODES. USE TYPE ABC/SR 10 LB. ABC UL RATED, FM APPROVED COMMERCIAL GRADE FIRE EXTINGUISHER W/METAL VALVE, PRESSURE GAGE, INSTRUCTIONS, SAFETY PIN & BREAKABLE TYPE SEAL. MOUNT IN SEMI-RECESSED F.E. CABINET, POTTER-ROEMER ST./STL. MODEL 7053-DV CABINET MOUNT PER ANSI AND ADA REQUIREMENTS. REVIEW ADDITIONAL LOCATIONS IF REQUIRED WITH ARCHITECT & BUILDING FIRE INSPECTOR PRIOR TO INSTALLATION.
- DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
- THE WORDS "PROVIDE" OR "PROVIDE NEW" MEANS TO FURNISH AND INSTALL NEW ITEM(S) AND/OR SYSTEM(S) INDICATED.
- TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTORS SHALL LAYOUT HIS OWN WORK AND VERIFY ALL DIMENSIONS REQUIRED FOR OTHER TRADES WITH THE SUBCONTRACTORS.
- CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED ACCESS FROM WORK AREA AND ADJACENT SPACES TO THE OUTSIDE OF THE BUILDING AT ALL TIMES. IF THE PATHS OF EGRESS CANNOT BE MAINTAINED DURING THE CONSTRUCTION, THE CONTRACTOR MUST PROVIDE ALTERNATE MEANS OF EGRESS INCLUDING ERECTING BARRICADES, TEMPORARY SIGNS, ALTERNATE PATHS OF TRAVEL, ETC. IN ORDER TO MAINTAIN A SAFE ENVIRONMENT FOR THE OCCUPANTS OF THE BUILDING.
- WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS IT SHALL BE CONSIDERED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

LEGEND/ SYMBOLS



LIST OF ABBREVIATIONS

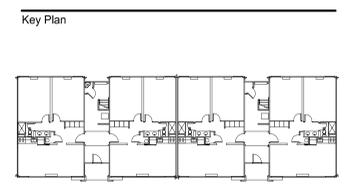
<ul style="list-style-type: none"> Ø A.D. ACQUIS. A.F.F. ARCH. ARCH. ARCHITECTURAL ALUM ALUMINUM BO BOARD BLK BLOCK BLDG BUILDING BLKG BLOCKING B/O BOTTOM OF C.-J. CONTROL JOINT CL CLOSET CLG CEILING COL COLUMN CONC CONCRETE CONTR CONTINUOUS CONTR CONSTRUCTION C.T. CERAMIC TILE DET DETAIL DM DIMENSION DN DOWN DOOR DOOR OPENING DWG DRAWING EA EACH ELEV ELEVATION ELC ELECTRIC ED EQUAL E.W.C. ELECTRIC WATER COOLER EXH EXHAUST EXP. JT. EXPANSION JOINT EXT EXTERIOR F.D. FLOOR DRAIN FLUR FLOURESCENT F.H.C. FIRE HOSE CABINET FIN FINISH F.P.S.C. FIREPROOF SELF-CLOSING FR FRAME F.W.C. FABRIC WALL COVERING GAGE, GAUGE GB GRAB BAR GLASS GYP. BD. GYPSUM WALLBOARD H HIGH HB HOLLOW METAL HDW HARDWARE HGT HEIGHT HM HOLLOW METAL HORZ HORIZONTAL HOUR HOUR HW HOT WATER HEATER HWAC HEATING/VENTILATING/ AIR CONDITIONING I.D. INCHES DIAMETER INSUL INSULATION INT INTERIOR 	<ul style="list-style-type: none"> AT AREA DRAIN ACQUIS. ACQUISITION ARCH. ARCHITECT ARCHITECTURAL ALUMINUM BOARD BLOCK BUILDING BLOCKING BOTTOM OF CONTROL JOINT CLOSET CEILING COLUMN CONCRETE CONTRINUOUS CONSTRUCTION CERAMIC TILE DETAIL DIMENSION DOWN DOOR OPENING DRAWING EACH ELEVATION ELECTRIC EQUAL ELECTRIC WATER COOLER EXHAUST EXPANSION JOINT EXTERIOR FLOOR DRAIN FLOURESCENT FIRE HOSE CABINET FINISH FIREPROOF SELF-CLOSING FRAME FABRIC WALL COVERING GAGE, GAUGE GRAB BAR GLASS GYPSUM WALLBOARD HIGH HOLLOW METAL HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HOUR HOT WATER HEATER HEATING/VENTILATING/ AIR CONDITIONING INCHES DIAMETER INSULATION INTERIOR 	<ul style="list-style-type: none"> LAM LAMINATE LAW LAWORY LDR LEADER LOW POINT MASONRY MAXIMUM MECH MECHANICAL MIN MINIMUM M.O. MASONRY OPENING M. & B. R. MDP & BROOM RACK MTL METAL N.I.S. NOT IN SCOPE NOM NOMINAL OA OVERALL ON CENTER OD OUTSIDE DIAMETER O.D. OVERFLOW DRAIN OH OVERHEAD OPH OPPOSITE HAND OPP OPPOSITE OPNG OPENING PLAST. LAM. PLASTIC LAMINATE PLY. WD. PLYWOOD PTD PAINTED P.T.D. & R. PAPER TOWEL DISPENSER AND RECEPTACLE QUART. TILE QUARRY TILE OT ROOF DRAIN R.D. REFRIGERATOR REQUIRED REFR ROOM RD ROUGH OPENING R.O. SOAP DISPENSER S.D. SECTION S.F. SQUARE FOOT SIM SIMILAR S.N.D. SANITARY NAPKIN DISPENSER S.P. STAND PIPE SPEC SPECIFICATION (s) STD STANDARD STL STEEL STRUCT STRUCTURE STRUCTL STRUCTURAL SUSP SUSPENDED TEL TELEPHONE THK THICK TOP TOP TRIMMED OPENING T/O TOP OF T.O.D. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.C. VALVE CABINET V.C.T. VINYL COMPOSITION TILE V.W.C. VINYL WALL COVERING WIDE WOOD W.WF WELDED WIRE FABRIC
---	---	---

LIST OF DRAWINGS

DRAWING NUMBER	TITLE
ARCHITECTURAL DRAWINGS — SNS ARCHITECTS & ENGINEERS, P.C.	
A000	COVER SHEET, GENERAL NOTES
A001	BUILDING DEPARTMENT NOTES, EGRESS PLANS & PARTIAL DEMOLITION PLANS
A002	FIRST & SECOND FLOOR PLANS, DOOR SCHEDULE & DETAILS
A003	ENLARGED PLANS, NOTES, LEGEND, & PARTITION TYPES
A004	ENLARGED PLAN, MILLWORK, DETAILS & EQUIPMENT SCHEDULE
A005	STAIR PLAN & DETAILS & FINISH SCHEDULE
MECHANICAL DRAWINGS — LINWOOD ENGINEERING ASSOCIATES, P.A.	
M001	HVAC NOTES, DETAILS & SYMBOLS
M100	FIRST & SECOND FLOOR HVAC PLANS
M200	ENLARGED FIRST & SECOND FLOOR HVAC PLANS
ELECTRICAL DRAWINGS — LINWOOD ENGINEERING ASSOCIATES, P.A.	
E001	ELECTRIC NOTES, SPECIFICATIONS & SYMBOLS
E100	FIRST & SECOND FLOOR ELECTRICAL DEMOLITION PLANS
E200	CRAWL SPACE & FIRST FLOOR ELECTRICAL PLANS
E201	SECOND FLOOR ELECTRICAL PLAN
E300	ENLARGED FIRST & SECOND FLOOR ELECTRICAL PLANS
E400	CRAWL SPACE & FIRST FLOOR FIRE ALARM PLANS
E401	SECOND FLOOR & ATTIC FIRE ALARM PLANS
E402	FIRE ALARM NOTES, RISER DIAGRAM, SCHEDULE & SYSTEM SEQUENCE OF OPERATION MATRIX
E500	LIGHTING FIXTURE SCHEDULE, PANEL SCHEDULES & DETAILS
PLUMBING DRAWINGS — LINWOOD ENGINEERING ASSOCIATES, P.A.	
P001	PLUMBING NOTES, SYMBOLS & SCHEDULES
P100	CRAWL SPACE, FIRST & SECOND FLOOR PLUMBING PLANS
P200	ENLARGED FIRST & SECOND FLOOR PLUMBING PLANS
P300	PLUMBING RISER DIAGRAMS & DETAILS
FIRE PROTECTION DRAWINGS — LINWOOD ENGINEERING ASSOCIATES, P.A.	
FP001	FIRE PROTECTION NOTES & SYMBOLS
FP100	CRAWL SPACE & ATTIC SPACE FIRE PROTECTION PLANS
FP101	FIRST & SECOND FLOOR FIRE PROTECTION PLANS & DETAILS
FP200	ENLARGED FIRST & SECOND FLOOR FIRE PROTECTION PLANS

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	1	ISSUED FOR BIDDING



Consultants

IEA

LINWOOD ENGINEERING ASSOCIATES, P.A.
CONSULTING ENGINEERS
955 Lincoln Avenue
Glen Rock, New Jersey 07452
TELEPHONE (201) 857-3998
FAX: (201) 857-3994

Project

INTERIOR RENOVATIONS
AT THE
HOLLY - C RESIDENCE

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

Client

RAMAPO COLLEGE
OF NEW JERSEY
505 Ramapo Valley Road
Mahwah, New Jersey 07430-1680

SNS Architects & Engineers, P.C.

1 PARAGON DRIVE . MONTVALE . NEW JERSEY. 07645
TEL: 201.573.1767 FAX: 201.573.0808 www.sns-arch-eng.com

Fay W. Logan, AIA
John M. Lignos, AIA
Lorin J. Sonenshine, AIA
Steven Napolitano, PE

Cert./Lic. No. NJ 109740
Date 01-12-15 Scale NONE
Drawn By DP Checked By DP

Dwg. Title
COVER SHEET, GENERAL NOTES
Work Order No. Dwg. No.
4698C A000