

DOOR NO.	DOOR			FRAME				HARDWARE		REMARKS			
	W	S	H	MAT	TYPE	THK	MAT	OPENING SIZE	JAMB		HEAD	SILL	SET
101B	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
102B	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
104B	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
105B	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
107B	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
101AB	3'-0"	6"	6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
102AB	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	
101A	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
102A	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
104A	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
105A	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
107A	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
101F	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
102F	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
104F	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
105F	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
107F	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
101EF	3'-0"	6"	6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
102EF	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	
101E	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
102E	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
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105E	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
107E	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
201D	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
202D	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
204D	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
205D	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
207D	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
201C	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
202C	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
204C	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
205C	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
207C	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
201H	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
202H	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
204H	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
205H	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
207H	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
201G	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
202G	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
204G	3'-0"	6"	6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
205G	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
207G	2'-6"	6"	6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	

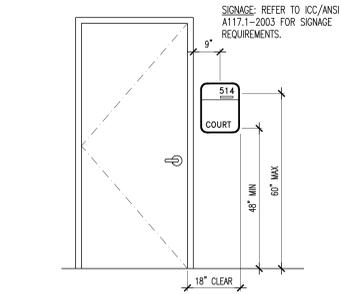
HARDWARE SET #1:		HARDWARE SET #2:		HARDWARE SET #3:	
3EA HINGES	BB5002-450N	3EA HINGES	BB5002-450N	3EA HINGES	BB5002-450N
1EA CLOSER	7101 BC PA	1EA OVERHEAD HOLDER	1-336	1EA PRIVACY LOCK	MR126 PUSJ
1EA DOOR VENER	882	1EA MOP PLATE	.050 X 4" X 2" LDW	1EA OVERHEAD HOLDER	1-336
1ST PER WS	1079M	1EA KICK PLATE	.050 X 8" X 2" LDW	1EA MOP PLATE	.050 X 4" X 2" LDW
1EA SWEEP	C627A	1EA WALL STOP	565	1EA KICK PLATE	.050 X 8" X 2" LDW
1EA MOP PLATE	.050 X 4" X 2" LDW	3EA SILENCERS	500	1EA WALL STOP	565
1EA KICK PLATE	.050 X 8" X 2" LDW			3EA SILENCERS	500
1EA WALL STOP	565				
3EA SILENCERS	500				
1EA SIGNAGE	ROOM LETTER (MATCH EXIST.)				

HARDWARE SET #4:		HARDWARE SET #4A:		HARDWARE SET #5:	
3EA HINGES	BB5002-450N	3EA HINGES	BB5002-450N	3EA HINGES	SL11HD
1EA STOREROOM LOCK	MR115 PUSJ IC	1EA STOREROOM LOCK	MR115 PUSJ IC	1EA RECESSED PULL	BY DOOR MANUF.
1EA PERMANENT CORE	BY COLLEGE	1EA OVERHEAD STOP	9-336	1EA PUSH	26C
1EA MOP PLATE	.050 X 4" X 2" LDW	1EA PERMANENT CORE	BY COLLEGE	1EA CLOSER	7101 BC PA
1EA KICK PLATE	.050 X 8" X 2" LDW	1EA MOP PLATE	.050 X 4" X 2" LDW	1ST PER WS	1079M
1EA WALL STOP	565	1EA KICK PLATE	.050 X 8" X 2" LDW	1EA SWEEP	C627A
3EA SILENCERS	500	3EA SILENCERS	500	1EA MOP PLATE	.050 X 4" X 2" LDW
				1EA KICK PLATE	.050 X 8" X 2" LDW
				1EA WALL STOP	565

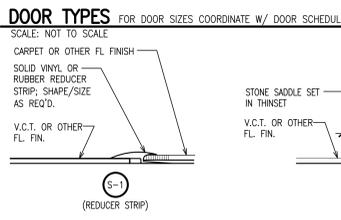
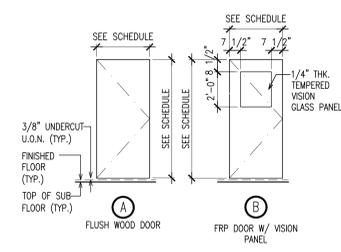
ABBREVIATIONS
 BO-BOMMER BU-BURNS NG-NATIONAL GUARD PRODUCTS PO-PDQ MANUFACTURING RX-ROXSON SP-SELECT PRODUCTS KA-KABA ACCESS
 NOTE: THE ORIGINAL KEYPAD LOCK MUST BE INSTALLED ON THE NEW DOOR FROM THE SAME BEDROOM IT WAS REMOVED FROM

DOOR SCHEDULE NOTES

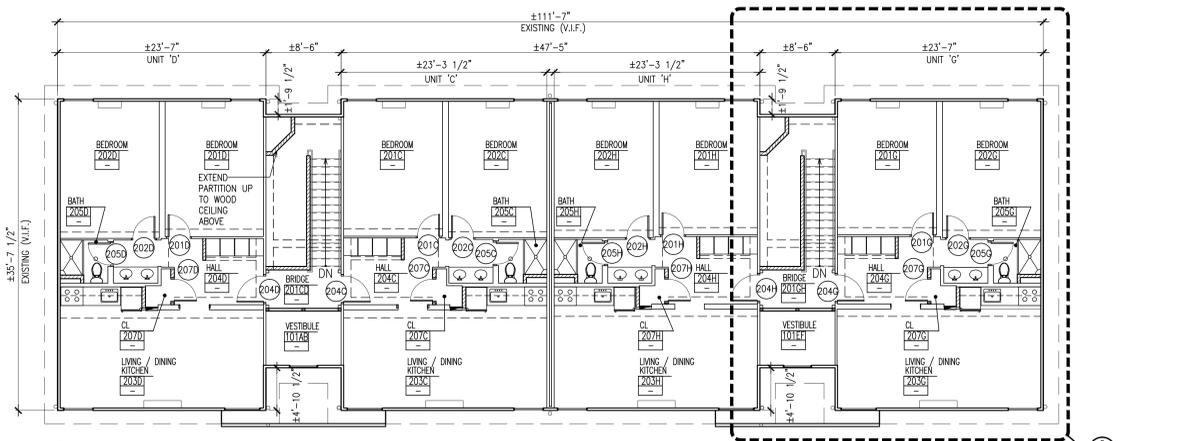
- THE G.C. SHALL COORDINATE WITH OWNER FOR MASTER AND GRAND MASTER KEYING REQUIREMENTS. THE G.C. SHALL KEY NEW DOORS AS PER OWNER REQUIREMENTS. CONTRACTOR TO PREPARE A KEYING SCHEDULE WHICH IS A RESULT OF A KEY MEETING ATTENDED BY THE OWNER AND THE CONTRACTOR. ALL CARD ACCESS LOCKS (IF APPLICABLE) SHALL BE COORDINATED WITH THE OWNER'S SECURITY CONSULTANTS AND MEET CODE REQUIREMENTS.
- UNDERCUT ALL DOORS AS REQUIRED TO ACCOMMODATE FLOOR FINISHES. UNDERCUT SHALL BE 3/8" A.F.F. U.O.N. G.C. TO COORDINATE ALL UNDERCUTS WITH ALL FLOOR FINISHES.
- ALL SECURITY DEVICES & SECURITY DOOR WIRING FOR DOORS SHALL BE FURNISHED & INSTALLED BY THE SECURITY VENDOR (N.I.C.) WHO SHALL PROVIDE A WIRING DIAGRAM AND COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR. G.C. SHALL PROVIDE POWER TO THE SECURITY PANEL AS REQUIRED BY THE SECURITY CONSULTANT SHALL COMPLY WITH APPLICABLE CODE.
- ALL DOORS WITH SECURITY DOOR HARDWARE SHALL HAVE DOOR CLOSURES AS DIRECTED BY ARCHITECT AND FURNISHED & INSTALLED BY G.C.
- FOR ALL LEVER HARDWARE REFER TO HARDWARE SCHEDULE, THIS INCLUDES ALL LEVER HARDWARE, BUTTS CLOSURES, HINGES, CYLINDERS, KICKPLATES, DOOR STOPS, ETC. ALL HARDWARE SHOULD BE ADA COMPLIANT.
- PROVIDE DOOR SILENCERS ON ALL HOLLOW METAL FRAMES. DO NOT PAINT SILENCERS.
- VERIFY THE THICKNESS OF PARTITIONS AND WALLS WHERE DOOR OPENINGS ARE SCHEDULED.
- ALL HOLLOW METAL FRAMES SHALL BE PRIMED & PAINTED.
- PROVIDE FACTORY INSTALLED FINISHED METAL LOUVERS IN DOORS WHERE INDICATED ON DOOR SCHEDULE OR ON THE MECHANICAL DWGS.
- INTERIOR HOLLOW METAL DOOR FRAMES TO BE WELDED TYPE, 20 GAUGE, SIZED TO SUIT DETAIL AND WALL CONSTRUCTION, TYP. U.O.N.
- PROVIDE 1/4" GA. MIN. STIFFENERS AT ALL HOLLOW METAL FRAME OPENINGS OVER 5'-0" WIDE.
- ALL FLUSH WOOD DOORS SHALL BE 3/4" PREMIUM GRADE SOLID CORE (NATURAL FINISH), FACTORY MATCHED, FACTORY FIT AND FACTORY FINISH, WITH VERTICAL EDGES, GLAZING STOPS AND ASTRAEGALS (IF CALLED FOR ON SCHEDULE) OF SAME SPECIES AS DOOR FACING, U.O.N.
- ACCEPTABLE MANUFACTURERS: EGRESS INDUSTRIES, SOUTHWOOD DOOR COMPANY, WEYERHAEUSER ARCHITECTURAL DOORS.
- DOOR FACING: PREMIUM GRADE WOOD VENER, INDICATED SPECIES, INDICATED CUT, WITH BOOK MATCHED GRAIN, FOR TRANSPARENT FACTORY FINISH
- VENER: G.C. TO CONFIRM VENER TYPE (TO BE VERIFIED), PRIOR TO ORDERING JAMB (MATCH EXISTING)
- LABEL FOR FIRE RATED DOORS: ATTACH UL FIRE RATING LABEL TO ALL RATED DOORS.
- FACTORY TRANSPARENT FINISH: PREMIUM QUALITY AMI TR-4, TRANSPARENT CONVERSION VARNISH, OF SELECTED SHEEN; SEAL DOOR TOP EDGE TO MATCH DOOR FINISH.
- WARRANTY: PROVIDE "LIFE OF INSTALLATION" WARRANTY.
- PROVIDE WALL MOUNTED DOOR STOPS TO MATCH BUILDING STANDARDS. IF WALL MOUNTED DOOR STOP CANNOT BE ACHIEVED, PROVIDE DOME FLOOR STOP.
- AT NEW DOORS AND FRAMES LOCATED WITHIN EXISTING PARTITIONS, G.C. SHALL VERIFY EXIST. PARTITION THICKNESS PRIOR TO ORDERING DOOR FRAMES.
- INSTALL FULL PERIMETER WEATHER STRIPPING AT EXTERIOR DOORS.
- ALL NEW HARDWARE SHALL MATCH EXISTING RCN STANDARDS IN TYPE & FINISH, V.I.F.
- EXISTING CONDITIONS: G.C. & SUB SHALL VERIFY ALL EXISTING CONDITIONS INFIED TO ENSURE COMPATIBILITY WITH NEW HARDWARE SPECIFIED IN HARDWARE SETS & WITH EXISTING HARDWARE TO BE RE-USED. ANY DISCREPANCIES BETWEEN EXISTING FIELD CONDITIONS & HARDWARE SPECIFIED / RE-USED HARDWARE SHALL BE BROUGHT TO THE ATTENTION OF THE C.M. & ARCHITECT IMMEDIATELY. NO HARDWARE SHALL BE ORDERED / WORK BEGUN UNTIL ALL DISCREPANCIES ARE RECTIFIED & APPROVED BY C.M. & ARCHITECT.
- ALL EXISTING DOOR HARDWARE SHALL BE REMOVED, TAGGED & RE-INSTALLED. THIS SHALL BE COORDINATED W/ CONSTRUCTION MANAGERS, DEMOLITION CONTRACTOR & G.C. PRIOR TO START OF WORK.
- THE EXISTING CARD ACCESS SYSTEM (SOFTWARE) SHALL BE RE-USED FOR FRONT ENTRY DOORS; THE ORIGINAL LOCKS MUST BE PLACED ON THE SAME FRONT DOORS THAT THEY WERE REMOVED FROM.
- THE EXISTING KEYPAD SYSTEM REMOVED FROM EACH BEDROOM DOOR SHALL BE RE-INSTALLED ON THE NEW DOOR & FRAME FOR THE SAME BEDROOM / DOOR THEY WERE REMOVED FROM.
- IN THE EVENT THAT EXISTING HARDWARE TO BE RE-USED IS DAMAGED & / OR MISSING, CONTRACTOR SHALL NOTIFY C.M. PRIOR TO PROCEEDING W/ ANY WORK.
- ALL LOCKSETS SHALL BE FURNISHED W/ CONSTRUCTION COUPERS.



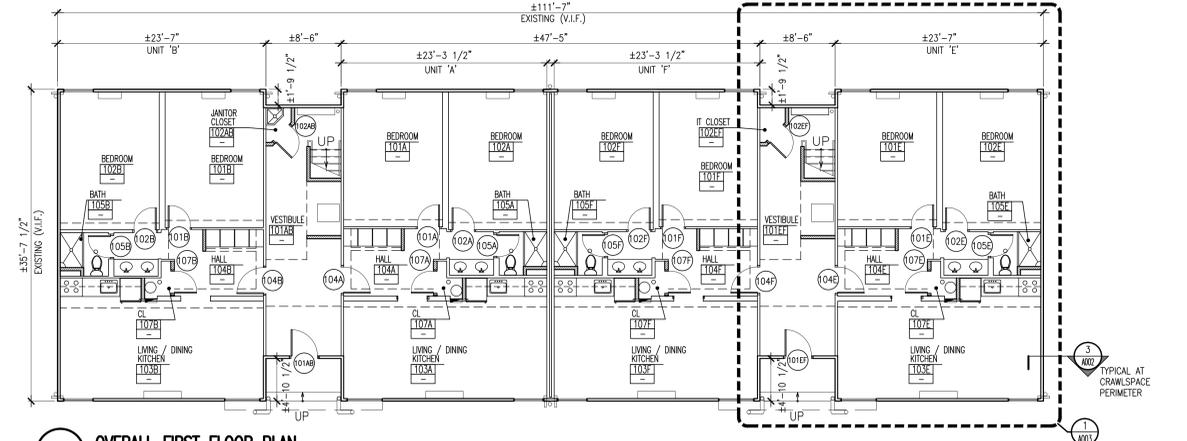
INTERIOR SIGN LOCATION ELEVATION
 SCALE: 1/2" = 1'-0"



SADDLE TYPES
 SCALE: NOT TO SCALE



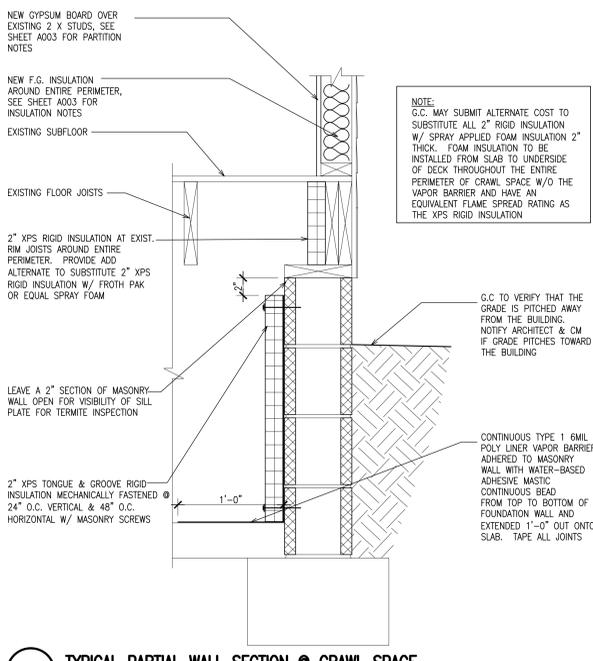
2 OVERALL SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: REFER TO DRAWING A005 FOR FINISH SCHEDULE



1 OVERALL FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: REFER TO DRAWING A005 FOR FINISH SCHEDULE

CONSTRUCTION PLAN NOTES

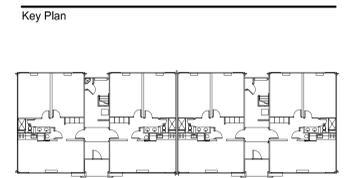
- SEE GENERAL NOTES ON COVER SHEET A001 FOR ADDITIONAL INFORMATION
- OVERALL FLOOR PLANS SHOW ENTIRE BUILDING, REFER TO ENLARGED PLANS 304/A001 FOR DEMOLITION SCOPE OF WORK, PER UNIT TYPE.
- REFER TO PARTIAL ENLARGED TYPICAL UNIT FLOOR PLANS & REFLECTED CEILING PLANS & NOTES ON DRAWING A003 FOR ADDITIONAL INFORMATION. WORK SHOWN ON ENLARGED FLOOR PLANS IS REPETITIVE FOR EACH UNIT TYPE, TYPICAL UNLESS OTHERWISE NOTED.
- SEE PARTITION TYPES ON DRAWING A003 FOR EXTENT OF PARTITION WORK & FINISHES.
- TYPICAL AT ALL UNITS / FLOOR. CONTRACTOR SHALL PROVIDE NEW GYP. BD. BOARD & INSULATION, COORDINATE WITH PARTITION TYPES & ENLARGED TYP. UNIT PLAN ON SHEET A003
- OVERALL FLOOR PLANS SHOW ALL NEW DOOR & FRAME NUMBERS. COORDINATE WITH PLANS, DOOR SCHEDULE & DETAILS
- NEW I.T. CLOSET & JANITORS CLOSET IN VESTIBULES & FINISHES SHALL BE FULL HEIGHT (2 STORY) TO NEW VESTIBULE FINISH CEILING.
- AT JANITORS CLOSET, PROVIDE FRP PANELS OVER NEW GYPSUM BOARD TO 4'-0" A.F.F. TYPICAL, COORDINATE W/ ENGINEERS DRAWING FOR SINK & FAUCET
- G.C. SHALL REPLACE DAMAGED, ROTTED WOOD STUD / JOIST FRAMING AS REQ'D. PRIOR TO INSTALLING NEW GYP. BD. & FINISHES (V.I.F.)
- CRAWL SPACE NOTES: (BELOW 1ST FLOOR, NOT SHOWN)
 - BROOM SWEEP CRAWL SPACE & REMOVE ALL ITEMS & DEBRIS, SEE DEMOLITION NOTE 13 ON SHEET A001
 - MECHANICALLY FASTEN NEW 2" XPS RIGID INSULATION AROUND ENTIRE PERIMETER OF INTERIOR MASONRY FOUNDATION WALL AND RIM JOIST OF CRAWL SPACE AS SHOWN IN DETAIL 3/A002.
 - INSULATE ALL CHILLED WATER LINES W/ NEW ACQUATE PIPE INSULATION. REMOVE ALL EXISTING AND REPLACE WITH NEW.
 - PROVIDE AN ADD ALTERNATE TO FURNISH & INSTALL A DRY FIRE SPRINKLER SYSTEM IN THE CRAWL SPACE & ATTIC
- ALL CAPS BETWEEN WALLS OF THE MODULAR UNITS SHALL BE FILLED W/ CONTINUOUS F.T. WOOD BLOCKING & FIRE STOPPING WHICH MEETS U.L. RATING & BUILDING CODE.
- CONTRACTOR SHALL REPLACE ALL WINDOW & DOOR TRIM TO MATCH BUILDING STANDARDS



3 TYPICAL PARTIAL WALL SECTION @ CRAWL SPACE
 SCALE: 1 1/2" = 1'-0"

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	1	ISSUED FOR BIDDING



TYPICAL FLOOR
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Cert./Lic. No. AJ 109740
 Date 01-09-15 Scale AS NOTED
 Drawn By DP Checked By DP

Dwg. Title
FIRST & SECOND FLOOR PLANS, DOOR SCHEDULE & DETAILS
 Work Order No. Dwg. No.
4698C A002