

DOOR SCHEDULE												
DOOR NO.	DOOR					FRAME				HARDWARE		REMARKS
	W	S	H	MAT	TYPE	THK	MAT	OPENING SIZE	JAMB	HEAD	SILL	
FIRST FLOOR	101B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104B	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107B	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101AB	3'-0" x 6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
	102AB	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	
	101A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	104A	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	105A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107A	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
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	105F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107F	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	101EF	3'-0" x 6'-8"	FRP	B	1 3/4"	HM	3'-0" x 6'-8"	J-1 SIM.	H-1 SIM.	S-3	5	RE-USE EXISTING DOOR LOCK
SECOND FLOOR	102EF	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4A	
	101E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	102E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
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	105E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	107E	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	201D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	202D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	204D	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	205D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	207D	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	201C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	202C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	204C	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	205C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3	
	207C	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4	
	201H	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
	202H	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK
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205H	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-2	3		
207H	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	-	4		
201G	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
202G	2'-6" x 6'-8"	WOOD	A	1 3/4"	HM	2'-6" x 6'-8"	J-1	H-1	S-1	2	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
204G	3'-0" x 6'-8"	WOOD	A	1 3/4"	HM	3'-0" x 6'-8"	J-1	H-1	-	1	RE-USE EXISTING DOOR ACCESS CONTROL KEY PAD LOCK	
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HARDWARE SETS

HARDWARE SET #1:			HARDWARE SET #2:			HARDWARE SET #3:		
3EA. HINGES	BB5006-450N	630 BO	3EA. HINGES	BB5002-450N	630 BO	3EA. HINGES	BB5002-450N	630 BO
1EA CLOSER	689 BO	689 PQ	1EA OVERHEAD HOLDER	1-1-336	626 KA	1EA. PROMAX LOCK	MPT26 PLUS	630 PQ
1EA DOOR VIEWER	852	626 BU	1EA MOP PLATE	.050 X 4" X 2" LWD	630 BU	1EA OVERHEAD HOLDER	1-336	626 RZ
1ST PER WS	107NA	689 NG	1EA KICK PLATE	.050 X 8" X 2" LWD	630 BU	1EA MOP PLATE	.050 X 4" X 2" LWD	630 BU
1EA SWEEP	0072	689 NG	1EA WALL STOP	565	630 BU	1EA KICK PLATE	.050 X 8" X 2" LWD	630 BU
1EA MOP PLATE	.050 X 4" X 2" LWD	630 BU	3EA SILENCERS	500	BU	1EA WALL STOP	565	630 BU
1EA KICK PLATE	.050 X 8" X 2" LWD	630 BU				3EA SILENCERS	500	BU
1EA WALL STOP	565	630 BU						
3EA SILENCERS	500	BU						
1EA SIGNAGE	ROOM LETTER (MATCH EXIST.)	626 BU						

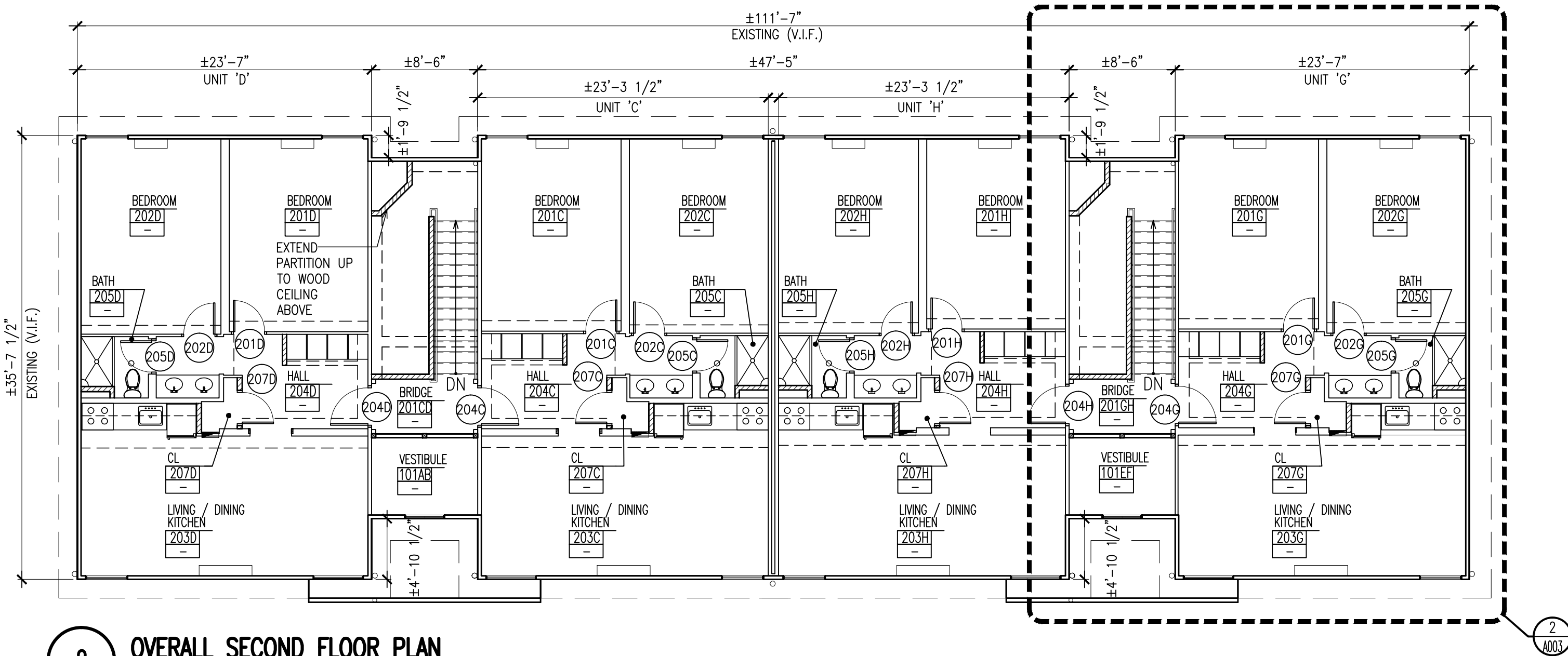
HARDWARE SET #4:	HARDWARE SET #5:
3EA. HINGES 1EA STOREROOM LOCK 1EA PERMANENT CORE 1EA MOP PLATE 1EA KICK PLATE 1EA WALL STOP 3EA SILENCERS	BB5002-450N 630 BO 630 PQ 626 KA 630 BU 630 BU 565 BU 500 BU

BO-BOMMER BU-BURNS NG-NATIONAL GUARD PRODUCTS PQ-PDQ MANUFACTURING RX-ROXSON SP-SELECT PRODUCTS KA-KABA ACCESS

NOTE: THE ORIGINAL KEYPAD LOCK MUST BE INSTALLED ON THE NEW DOOR FROM THE SAME BEDROOM IT WAS REMOVED FROM.

DOOR SCHEDULE NOTES

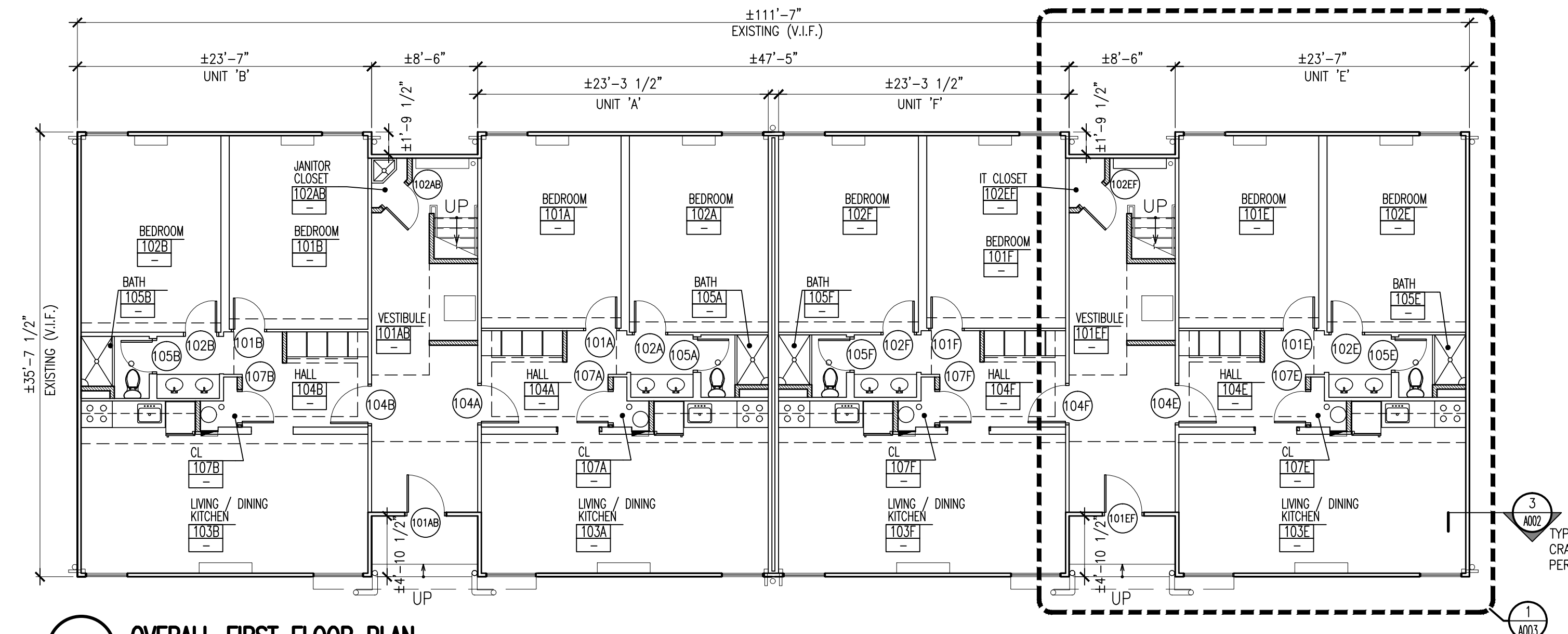
- THE G.C. SHALL COORDINATE WITH OWNER FOR MASTER AND GRAND MASTER KEYING REQUIREMENTS. THE G.C. SHALL KEY NEW DOORS AS PER OWNER REQUIREMENTS. CONTRACTOR TO PREPARE A KEYING SCHEDULE WHICH IS A RESULT OF A KEY MEETING ATTENDED BY THE OWNER AND THE CONTRACTOR. ALL CARD ACCESS LOCKS (IF APPLICABLE) SHALL BE COORDINATED WITH THE OWNER'S SECURITY CONSULTANTS AND MEET CODE REQUIREMENTS.
- UNDERCUT ALL DOORS AS REQUIRED TO ACCOMMODATE FLOOR FINISHES. UNDERCUT SHALL BE 3/8" A.F.F. U.O.N. G.C. TO COORDINATE ALL UNDERCUTS WITH ALL FLOOR FINISHES.
- ALL SECURITY DEVICES & SECURITY DOOR HARDWARE & LOW VOLTAGE WIRING FOR DOORS SHALL BE FURNISHED & INSTALLED BY THE SECURITY VENDOR (N.I.C.) WHO SHALL PROVIDE A WIRING DIAGRAM AND COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR. G.C. SHALL PROVIDED POWER TO THE SECURITY PANEL AS REQUIRED BY THE SECURITY CONSULTANT SHALL COMPLY WITH APPLICABLE CODE.
- ALL DOORS WITH SECURITY DOOR HARDWARE SHALL HAVE DOOR CLOSURES AS DIRECTED BY ARCHITECT AND FURNISHED & INSTALLED BY G.C.
- FOR ALL LEVER HARDWARE REFER TO HARDWARE SCHEDULE, THIS INCLUDES ALL LEVER HARDWARE, BUTTS CLOSURES, HINGES, CYLINDERS, KICKPLATES, DOOR STOPS, ETC. . ALL HARDWARE SHOULD BE ADA COMPLIANT.
- PROVIDE DOOR SILENCERS ON ALL HOLLOW METAL FRAMES. DO NOT PAINT SILENCERS.
- VERIFY THE THICKNESS OF PARTITIONS AND WALLS WHERE DOOR OPENINGS ARE SCHEDULED.
- ALL HOLLOW METAL FRAMES SHALL BE PRIMED & PAINTED
- PROVIDE FACTORY INSTALLED FINISHED METAL LOUVERS IN DOORS WHERE INDICATED ON DOOR SCHEDULE OR ON THE MECHANICAL DWGS.
- INTERIOR HOLLOW METAL DOOR FRAMES TO BE WELDED TYPE, 20 GAUGE, SIZED TO SUIT DETAIL AND WALL CONSTRUCTION, TYP., U.O.N.
- PROVIDE 1/4" MIN. STIFFENERS AT ALL HOLLOW METAL FRAME OPENINGS OVER 5'-0" WIDE.
- ALL FLUSH WOOD DOORS SHALL BE 100% PREMIUM GRADE, SOLID CORE (NATURAL FINISH), FACTORY MACHINED, FACTORY FIT AND FACTORY FINISH, WITH VERTICAL EDGES, GLAZING STOPS AND ASTRAEGALS (IF CALLED FOR ON SCHEDULE) OF SAME SPECIES AS DOOR FACING, U.O.N.
- A. ACCEPTABLE MANUFACTURERS: EGRESS INDUSTRIES, SOUTHWOOD DOOR COMPANY, WEYERHAEUSER ARCHITECTURAL DOORS.
- B. DOOR FACING: PREMIUM GRADE WOOD VENEER, INDICATED SPECIES, INDICATED CUT, WITH BOOK MATCHED GRAIN, FOR TRANSPARENT FACTORY FINISH
- C. VENEER: G.C. TO CONFIRM VENEER TYPE (TO BE VERIFIED), PRIOR TO ORDERING (U.O.N./MATCH EXISTING)
- D. LABEL FOR FIRE RATED DOORS: ATTACH UL FIRE RATING LABEL TO ALL RATED DOORS.
- E. FACTORY TRANSPARENT FINISH: PREMIUM QUALITY AMI TR-4, TRANSPARENT CONVERSION VARNISH, OF SELECTED SHEEN; SEAL DOOR TOP EDGE TO MATCH DOOR FINISH.
- F. WARRANTY: PROVIDE "LIFE OF INSTALLATION" WARRANTY.
- PROVIDE WALL MOUNTED DOOR STOPS TO MATCH BUILDING STANDARDS. IF WALL MOUNTED DOOR STOP CANNOT BE ACHIEVED, PROVIDE DOME FLOOR STOP.
- AT NEW DOORS AND FRAMES LOCATED WITHIN EXISTING PARTITIONS, G.C. SHALL VERIFY EXIST. PARTITION THICKNESS PRIOR TO ORDERING DOOR FRAMES.
- INSTALL FULL PERIMETER WEATHER STRIPPING AT EXTERIOR DOORS.
- ALL NEW HARDWARE SHALL MATCH EXISTING RONA STANDARDS IN TYPE & FINISH, V.I.F.
- EXISTING CONDITIONS: G.C. & SUB SHALL VERIFY ALL EXISTING CONDITIONS INFIED TO ENSURE COMPATIBILITY WITH NEW HARDWARE SPECIFIED IN HARDWARE SETS & WITH EXISTING HARDWARE TO BE RE-USED. ANY DISCREPANCIES BETWEEN EXISTING FIELD CONDITIONS & HARDWARE SPECIFIED / RE-USED HARDWARE SHALL BE BROUGHT TO THE ATTENTION OF THE C.M. & ARCHITECT IMMEDIATELY. NO HARDWARE SHALL BE ORDERED / WORK BEGUN UNTIL ALL DISCREPANCIES ARE RECTIFIED & APPROVED BY C.M. & ARCHITECT.
- A. ALL EXISTING DOOR HARDWARE SHALL BE REMOVED, TAGGED & RE-INSTALLED. THIS SHALL BE COORDINATED W/ CONSTRUCTION MANAGERS, DEMOLITION CONTRACTOR & G.C. PRIOR TO START OF WORK.
- B. THE EXISTING CARD ACCESS SYSTEM (SOUTARE) SHALL BE RE-USED FOR FRONT ENTRY DOORS; THE ORIGINAL LOCKS MUST BE PLACED ON THE SAME FRONT DOORS THAT THEY WERE REMOVED FROM.
- C. THE EXISTING KEYPAD SYSTEM REMOVED FROM EACH BEDROOM DOOR SHALL BE RE-INSTALLED ON THE NEW DOOR & FRAME FOR THE SAME BEDROOM / DOOR THEY WERE REMOVED FROM.
- D. IN THE EVENT THAT EXISTING HARDWARE TO BE RE-USED IS DAMAGED & / OR MISSING, CONTRACTOR SHALL NOTIFY C.M. PRIOR TO PROCEEDING W/ ANY WORK.
- ALL LOCKSETS SHALL BE FURNISHED W/ CONSTRUCTION COUES.



2 OVERALL SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: REFER TO DRAWING A005 FOR FINISH SCHEDULE



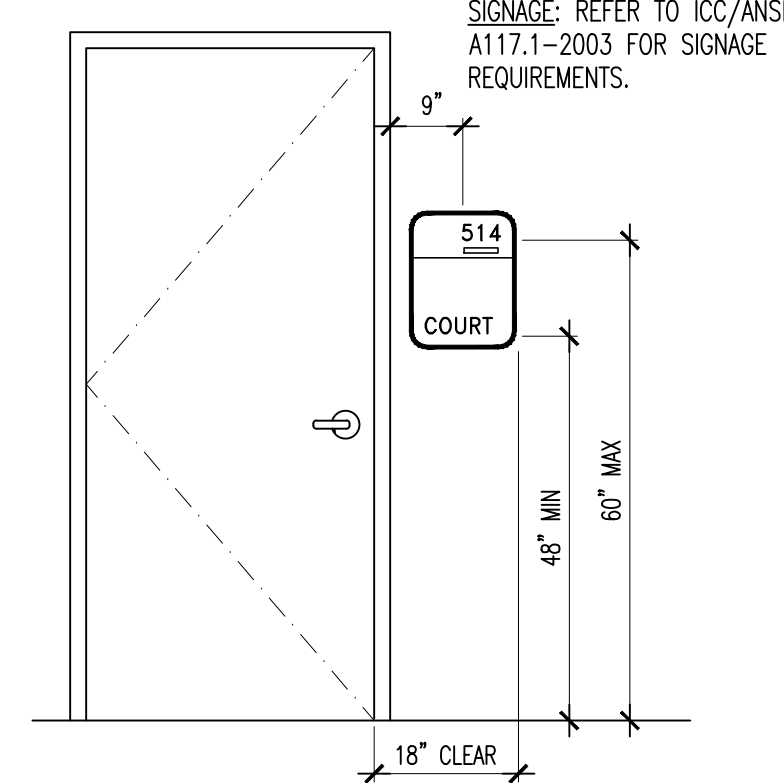
1 OVERALL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: REFER TO DRAWING A005 FOR FINISH SCHEDULE

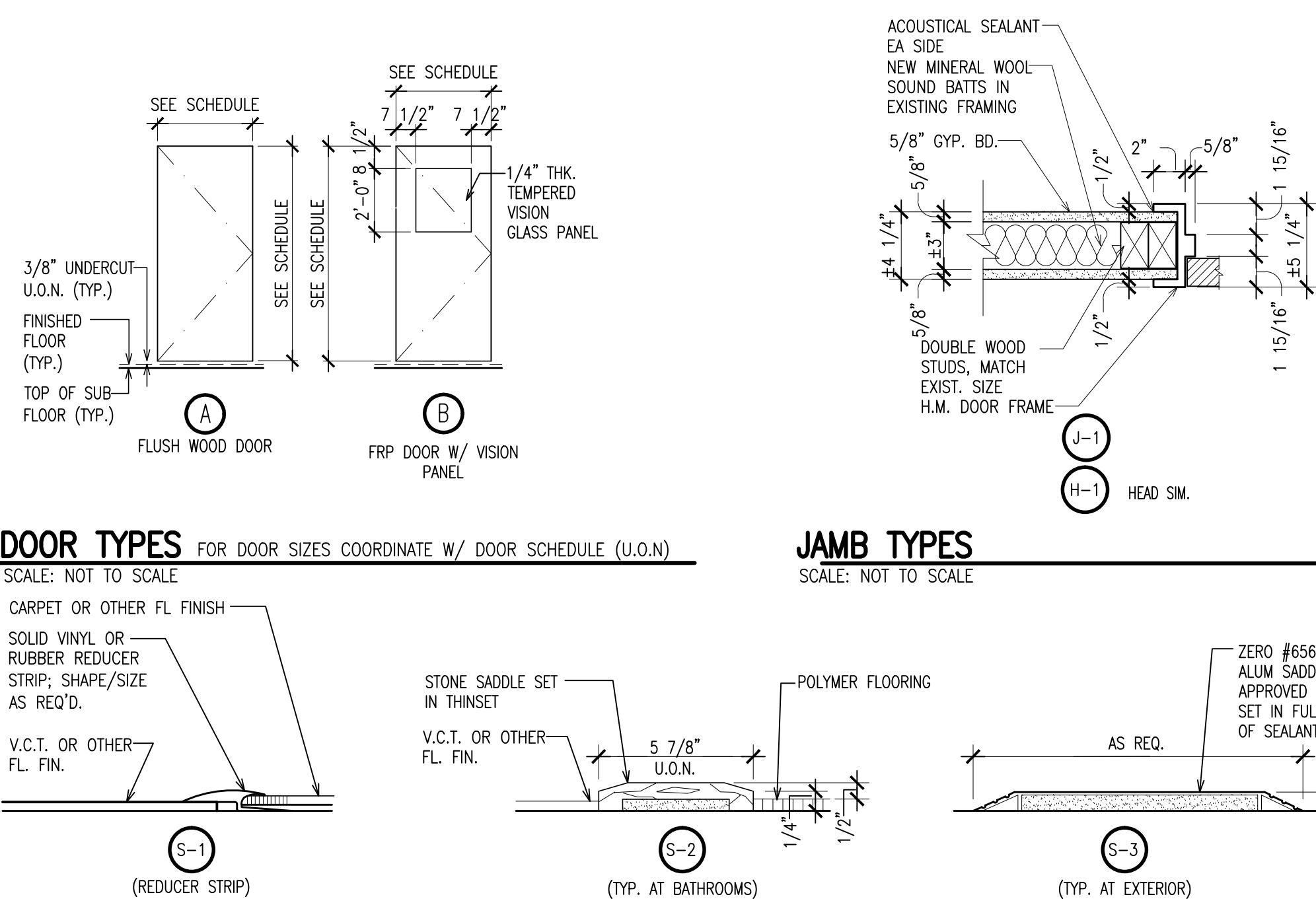
CONSTRUCTION PLAN NOTES

- SEE GENERAL NOTES ON COVER SHEET A001 FOR ADDITIONAL INFORMATION
- OVERALL FLOOR PLANS SHOW ENTIRE BUILDING, REFER TO ENLARGED PLANS 3/4"/A001 FOR DEMOLITION SCOPE OF WORK, PER UNIT TYPE.
- REFER TO PARTIAL ENLARGED TYPICAL UNIT PLANS & REFLECTED CEILING PLANS & NOTES ON DRAWING A003 FOR ADDITIONAL INFORMATION. WORK SHOWN ON ENLARGED FLOOR PLANS IS REPETITIVE FOR EACH UNIT TYPE, TYPICAL UNLESS OTHERWISE NOTED.
- SEE PARTITION TYPES ON DRAWING A003 FOR EXTENT OF PARTITION WORK & FINISHES.
- TYPICAL AT ALL UNITS / FLOOR: CONTRACTOR SHALL PROVIDE NEW GYP. BD. BOARD & INSULATION, COORDINATE WITH PARTITION TYPES & ENLARGED TYP. UNIT PLAN ON SHEET A003
- OVERALL FLOOR PLANS SHOW ALL NEW DOOR & FRAME NUMBERS. COORDINATE WITH PLANS, DOOR SCHEDULE & DETAILS
- NEW LT. CLOSET & JANITORS CLOSET IN VESTIBULE, PARTITIONS & FINISHES SHALL BE FULL HEIGHT (2 STORY) TO NEW VESTIBULE FINISH CEILING.
- AT JANITORS CLOSET, PROVIDE FRP PANELS OVER NEW GYPSUM BOARD TO 4'-0" A.F.F. TYPICAL, COORDINATE W/ ENGINEERS DRAWING FOR SINK & FAUCET
- G.C. SHALL REPLACE DAMAGED, ROTTED WOOD STUD / JOIST FRAMING AS REQ'D. PRIOR TO INSTALLING NEW GYP. BD. & FINISHES (V.I.F.)
- CRAWL SPACE NOTES: (BELOW 1ST FLOOR, NOT SHOWN)
 - BROOM SWEEP CRAWL SPACE & REMOVE ALL ITEMS & DEBRIS, SEE DEMOLITION NOTE 13 ON SHEET A001
 - MECHANICALLY FASTEN NEW 2" XPS RIGID INSULATION AROUND ENTIRE PERIMETER OF INTERIOR MASONRY FOUNDATION WALL AND RM JOIST OF CRAWL SPACE AS SHOWN IN DETAIL 3/A002.
 - INSULATE ALL CHILLED WATER LINES W/ NEW ADEQUATE PIPE INSULATION. REMOVE ALL EXISTING AND REPLACE WITH NEW.
 - PROVIDE AN ADD ALTERNATE TO FURNISH & INSTALL A DRY FIRE SPRINKLER SYSTEM IN THE CRAWL SPACE & ATTIC
- ALL CAPS BETWEEN WALLS OF THE MODULAR UNITS SHALL BE FILLED W/ CONTINUOUS F.T. WOOD BLOCKING & FIRE STOPPING WHICH MEETS U.L. RATING & BUILDING CODE.
- CONTRACTOR SHALL REPLACE ALL WINDOW & DOOR TRIM TO MATCH BUILDING STANDARDS



INTERIOR SIGN LOCATION ELEVATION

SCALE: 1/2" = 1'-0"



DOOR TYPES FOR DOOR SIZES COORDINATE W/ DOOR SCHEDULE (U.O.N)

SCALE: NOT TO SCALE

JAMB TYPES

SCALE: NOT TO SCALE

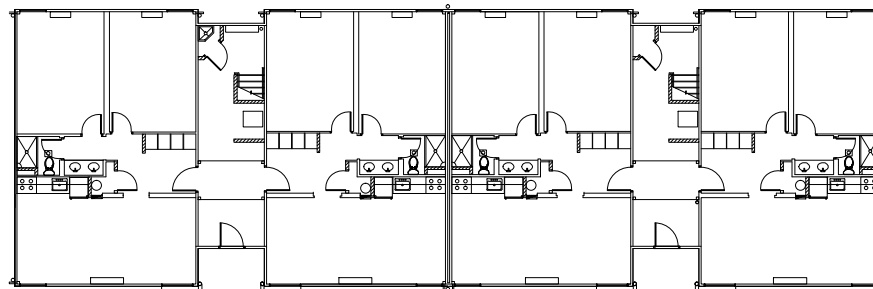
3 TYPICAL PARTIAL WALL SECTION @ CRAWL SPACE

SCALE: 1 1/2" = 1'-0"

Revisions

Date	Issue	Description
03-06-15	1	ISSUED FOR DCA FILING
03-18-15	1	ISSUED FOR BIDDING

Key Plan



TYPICAL FLOOR

Consultants



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Project

INTERIOR RENOVATIONS
AT THE
HOLLY-C RESIDENCE
RAMAPO COLLEGE
OF NEW JERSEY
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Mahwah, New Jersey 07430-1680

Client

RAMAPO COLLEGE
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505 Ramapo Valley Road
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Date 01-09-15 Scale AS NOTED
Drawn By DP Checked By DP

Dwg. Title
FIRST & SECOND FLOOR PLANS, DOOR SCHEDULE & DETAILS

Work Order No. Dwg. No.

4698C A002